GENERAL HOUSING DEVELOPMENT

7-9 WATTLE AV, ORANGE

LOT 14 AND 15 OF DP 36132

DEVELOPMENT DATA

JOB REFERENCE	BGYYW
LOCALITY / SUBURB	ORANGE
STREET ADDRESS	7 - 9 Wattle Avenue
LOT NUMBER & DEPOSITED PLAN	Lots 14 and 15 in DP 36132
SITE AREA (sqm)	Approx. 1795m²
NUMBER OF EXISTING LOTS	2
PROPOSED GFA (sqm)	699
NUMBER OF DWELLINGS	10 Units - 4 x 1 Bedroom and 6 x 2 Bedroom

DWELLINGS	**UNIT NO.**	**TYPE**	**NO. OF BEDROOMS**	**Internal Area**	**POS required**	**POS proposed**
				sqm	sqm	sqm
	1	Silver Livable	1	51m²	15m²	81m²
	2	Silver Livable	1	51m²	15m²	37m²
	3	Silver Livable	2	70m²	15m²	67m²
	4	Silver Livable	2	71m²	15m²	30m²
	5	Adaptable	2	74m²	15m²	74m²
	6	Silver Livable	2	71m²	15m²	72m²
	7	Silver Livable	1	52m²	8m²+2m²	10m²
	8	Silver Livable	1	52m²	8m²+2m²	10m²
	9	Silver Livable	2	71m²	10m²+2m²	11m²bac+4 s/c =14m²
	10	Silver Livable	2	71m²	10m²+2m²	12m²
	Lobby G			23m²		
	Lobby L1			18m²		
	TOTAL			675		407

	CONTROL	**REQUIREMENT**	**PROPOSED**
BUILDING HEIGHT	Housing SEPP Division 6 42(1)(b)	9m	8.2m at highest point
PARKING General	Housing SEPP s.42 (1) (f)	1B - 0.5 parking spaces 2B - 1 parking spaces	8 carspaces + 1 shared
	ODCP PO 7.7-15	1B - 1.0 parking spaces 2B - 1.2 parking spaces	don't achieve 11.2 required by Council
FSR	Housing SEPP	0.50:1	0.39:1
	OLEP 2011	not maximum FSR	
FRONT SETBACK (from public street, Wattle Avenue)	ODCP PO 7.7-4(a)	1. The setback to adjoining dwellings ranges approximately 7m - 10.5m. 2. Building setback to be generally consistent with the adjoining developments	7.5m, in line with adjacent existing
REAR SETBACKS	ODCP PO 7.7-6(a)	No specific setback required a) Buildings envelope generated by planes projected at 45° over the site commencing 2.5m above existing ground level from each side and rear boundary.	3m
SIDE SETBACKS	ODCP PO 7.7 - 6(a) PO 7.7 - 7(a)	To comply with the building envelope planes, min setback 900mm.	Northern side setback 4.4m Southern side setback 7.0m
DEEP SOIL ZONE	SLUDG, Housing SEPP s. 43(1)(d)	10 % of site area at the rear of the site (179.5m² required)	367m²
LANDSCAPE	ODCP PO 7.7-17 (b)	At least 2/3 of the front yard(setback area 232m²) is to be soft landscaped, not paved or sealed	663m²
SOLAR COMPLIANCE Note: ODCP PO 7.7-8=40%sun to external POS Ground 3hrs 9-3 or not further reduced from existing. 75% of Northfacing living areas min 4 hbours or not further reduced than existing	Housing SEPP ODCP PO 7.7-8= 40%co	70% of dwellings have 3 hours sunlight between 9am and 3pm in mid-Winter i. Living Rooms ii. Private open space	70% Units1,3,5,6,7,9& 10

LAHC* - Development data for LAHC new housing supply. For details refer to current version of LAHC Design Requirements

EC* - Entry Corridor

AREA* - Dwelling floor area includes internal walls but excludes external walls

POS* - Private Open Space - In compliance with SLUDG

Type* - E.g. Universal / Non-Universal

Solar Orientation* - % with min. 3 hours of direct sunlight into living areas and private open space

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04	27/06/2024	STAGE C UPDATE	SA
05	23/07/2024	STAGE C UPDATE	SA
06	30/09/2024	STAGE C UPDATE	SA

LEGEND

NatHERS THERMAL SPECIFICATION

NCC 2022 NatHERS Thermal Performance Specification - Orange			
External Walls			
Wall Type	***Insulation***	***Colour***	***Comments***
Cavity Brick	R4.0 Firemax A10	Light - SA < 0.475 Dark- SA > 0.70	Ground floor (As per elevations)
Metal cladding over Cavity brick	R4.0 Firemax A10	Light - SA < 0.475 Dark- SA > 0.70	Level 1 (As per elevations)
SA - Solar Absorptance			
Internal Walls			
Wall Type	***Insulation***	***Comments***	
Single skin brick	None	GF: Internally in units, except as below	
Single skin brick	R1.5	Internal bathroom walls, Unit 6	
Plasterboard steel stud	None	L1: Internally in units	
Cavity Brick	None	Party walls between units	
Cavity Brick	None	Shared walls with lobby/stairs	
Floors			
Floor Type	***Insulation***	***Comments***	
Concrete slab on ground (100mm)	None	Ground Floor	
Concrete	None	Level 1 with dwelling below	
Ceilings			
Ceiling Type	***Insulation***	***Comments***	
Plasterboard	None	Dwelling above	
Plasterboard	R3.5	Exposed ceiling (Roof/air above)	
Insulation loss due to downlights has been modelled in this assessment. A sealed exhaust fan has been included in every kitchen, bathroom, laundry and ensuite.			
Roof			
Roof Type	***Insulation***	***Colour***	***Comments***
Metal	R1.8 Foil-faced blanket	Dark - SA > 0.70	Throughout (Unvented cavity)
SA - Solar Absorptance			
Glazing			
Opening type	***U-Value***	***SHGC***	***Glazing & Frame Type***
Sliding + Fixed (Throughout)	4.3	0.59	e.g. Single Clear high performing low-e Aluminium frame
Awning (Throughout)	4.8	0.57	e.g. Single Clear low-e Aluminium frame
U and SHGC values are based on the AFRC Default Windows Set. Glazing systems to be installed must have an equal or lower U value and a SHGC value ± 10% of the above specified values			
Skylights			
Skylight Type	***Frame Type***	***Comments***	
na	na	na	
Ceiling fan			
Size	***Location***	***Comments***	
900mm in diameter	Living + Bedrooms	Throughout	

LOCATION PLAN

DRAWING LIST

BASIX Commitments Summary

ENERGY

Lighting	Provide dedicated energy efficient lighting (fluoros, compact fluoros & LEDs) throughout
Ceiling Fans	Ceiling fans required in each living room and bedrooms
Appliances	Electric cooktop & electric oven
Mechanical Ventilation	Bathroom/ Kitchen/ Laundry - individual fan, ducted to facade or roof. Manual switch on/ off. A/C
Clothes Lines	Private outdoor or unsheltered clothes drying line
Hot Water System	Mechanical Heat Pump units
Alternative Energy Source	Photovolatic System - rated electrical output 5 x 440W solar PV panels for 2kW PV system to 2-bedroom units; 3 x 440W solar PV panels for 1kW PV system to 1-bedroom untis.

WATER

Rainwater Tank	20000L Combined OSD and rainwater tank
Rainwater-Re-use	Rainwater used for garden irrigation on common landscaped area, private landscape area, and connected to unit 1 to 5.
Star Rating	4 star toilet suite, 6 star taps throughout, 4 star showerheads with flowrate >4.5 but <=6L/min
Planting	Indigenous or low water use species of vegetation min 350m²

Certificate No. 0009649680
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Accreditation No. DMN/13/1645
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Robert McNamara reg. no. 7271

Project Name
RESIDENTIAL HOUSING 7-9 WATTLE AVENUE ORANGE NSW 2800
Lots 14 and 15 in DP 36132

Sheet Title
COVER PAGE AND DRAWING LIST

Date: **30/09/2024**
Scale
Drawn: **ML**
Project No. **BGYYW**
Checked **SA**
Revision **06**
Authorised **SA**
Drawing No. **A000**

6 COOK PARK
900m

7 WOOLWORTHS,
BIG W, ORANGE
POST 2.0Km

8 ORANGE STATION
2.4Km

1. BUS STOP
2. CHURCH
3. PROJECT SITE
4. BUS STOP
5. ORANGE HIGH SCHOOL
6. COOK PARK
7. SHOPPINH CENTRE
8. ORANGE STATION

16 Mountain Vista, Orange NSW 2800

19A & 19B Harmer Street, Orange NSW 2800

25 Balmoral Drive, Orange NSW 2800

SITE CONTEXT ANALYSIS

ANALYSIS - KEY MATTERS

Predominant Block and Lot Patterns
Rectangular - East to West.

Block and lot pattern change over time
The block has preserved its original lot configurations, characterized by predominantly single-storey buildings and consistent setback distances.

Typical Lot Size, Shape, Orientation
Rectangular. South East to North West. Rough average of each 898m² Lot size

Which Lots better for Intensification and which are not
As the lots are symmetrical, boundaries can easily be combined into larger rectangle to be amalgamated into unit / town house development.

Is amalgamation necessary to support future development.
Amalgamation is required for densification for low rise unit and townhouse developments.

Are better Sites Available
The proposed site is the most appropriate site for this development. It is on a relatively flat streetscape with northerly aspects. The site is close to surrounding parks, shops and various local services.

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LEGEND

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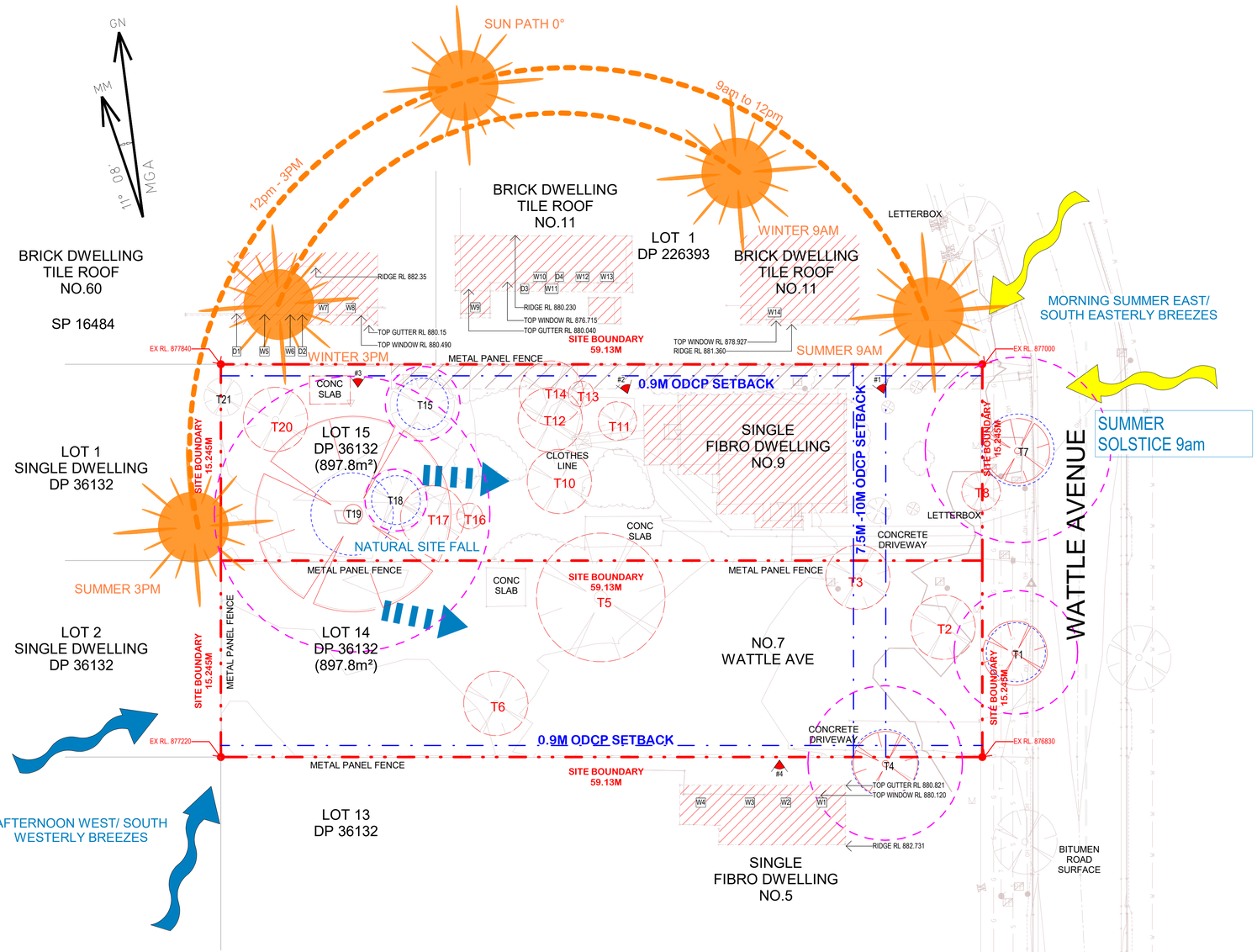
PART 5

Project Name
RESIDENTIAL HOUSING 7-9 WATTLE AVENUE ORANGE NSW 2800
Lots 14 and 15 in DP 36132

Sheet Title
CONTEXT BLOCK ANALYSIS

Date: **30/09/2024**
Scale
Drawn: **Author**
Project No. **BGYYW**
Checked **Checker**
Revision **06**
Authorised **Approver**
Drawing No. **A101**

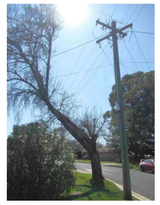


1 SITE ANALYSIS

1 : 200

T1 _ Claret Ash
HEIGHT: 7m
SRZ: 2.3m
TPZ: 4.8m

T4 _ Goden Rain Tree
HEIGHT: 6m
SRZ: 2.6m
TPZ: 4.6m



T7 Claret Ash
HEIGHT: 10m
SRZ: 2.8m
TPZ: 7.2m

T19 Southern Blue Gum
HEIGHT: 15m
SRZ: 3.2m
TPZ: 10.7m

VIEW _ 1 _ NO.11

VIEW _ 2 _ NO.11

VIEW _ 3 _ NO.60

VIEW _4 _ NO. 5

TABLE OF WINDOW LEVELS

LOCATION	WINDOW NO.	TOP RL	SIZE (WxH)m
WATTLE AV			
NO.5	W1	880.22	0.815 x 1.13
	W2	880.22	0.80 x1.13
	W3	880.22	2.55 x 1.13
	W4	880.675	2.10 x 1.60
NO.60 FROST ST	D1	879.99	0.62 x
	W5	880.49	0.59 x 0.77
	W6	880.49	0.59 x 0.77

LOCATION	WINDOW NO.	TOP RL	SIZE (WxH)m
WATTLE AV			
NO.11	D2	880.36	0.78 x
	W7	880.49	0.875 x 0.77
	W8	880.49	2.55 x 1.13
	W9	880.245	2.10 x 1.60
	D3	880.375	0.78 x
	W10	880.375	0.705 x 0.835
	W11	880.375	0.705 x 0.835
	D4	880.375	0.780 x
	W12	880.375	0.775 x 0.535
	W13	876.715	1.465 x 1.065
	W14	878.93	1.155 x 1.065

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LEGEND

- SUBJECT BOUNDARY
- ADJOINING BOUNDARY
- BUILDING/ STRUCTURE
- E — ELECTICITY LINE (UNDERGROUND)
- OH — ELECTICITY LINE (OVERHEAD)
- ROAD CENTRELINE
- T — TELECOMMUNICATION LINE/ OPTUS
- TFO — TELECOMMUNICATION FIBRE OPTIC LINE
- W — WATER LINE
- S — SEWER LINE
- EDGE OF CONCRETE
- FENCE LINE
- PP — POWER POLE WITH LIGHT
- LP — LIGHT POLE
- TP — TELECOMMUNICATION PIT
- H — HYDRANT
- MH — MAN HOLE
- WATER METER
- LH — SEWER INSPECTION PIT
- TREE SPREAD TRUNK
- DIAMETER HEIGHT
- SURVEY STATION
- EASEMENT TO DRAIN WATER (N530056)

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PART 5

Project Name
RESIDENTIAL HOUSING 7-9 WATTLE AVENUE ORANGE NSW 2800
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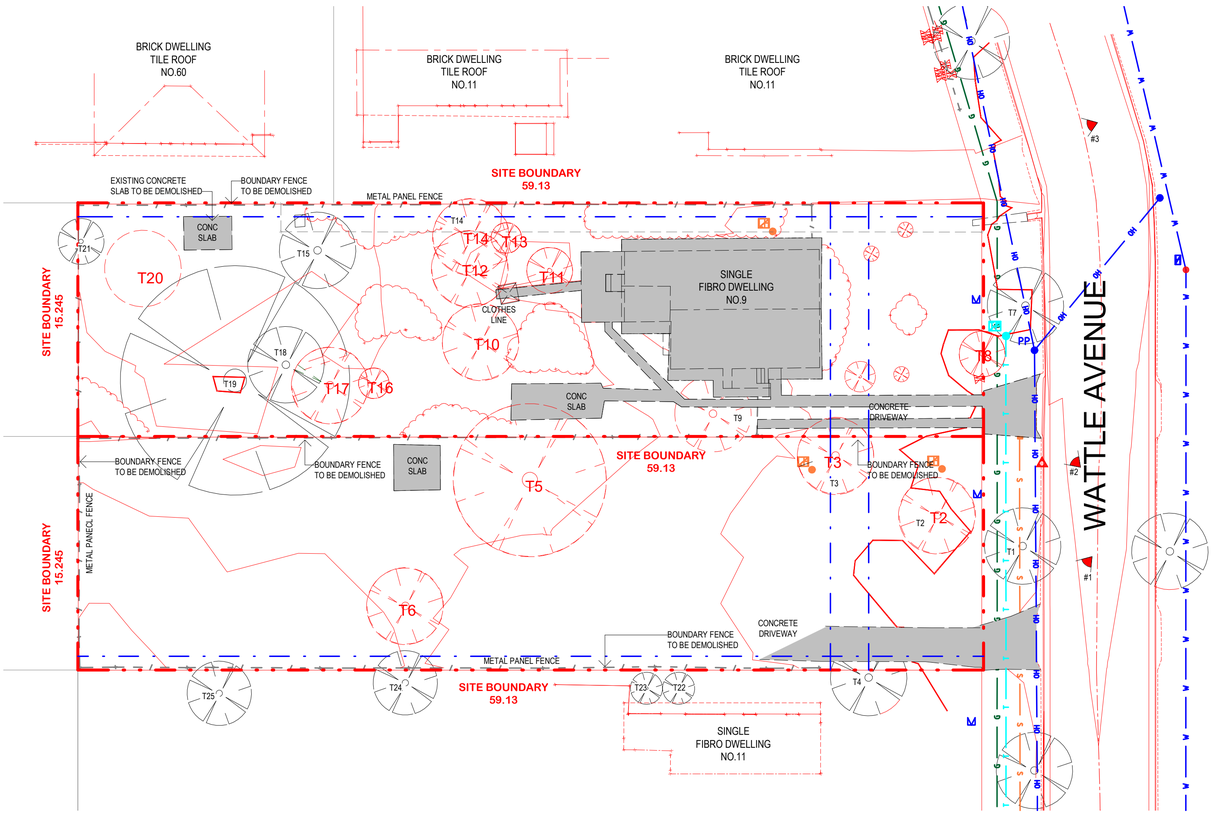
Sheet Title
SITE ANALYSIS

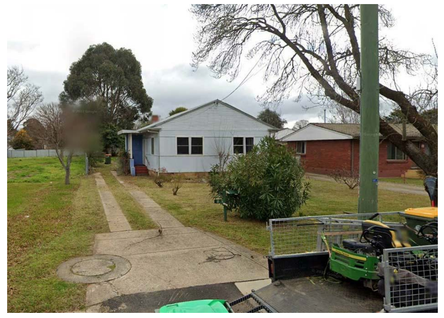
Date: **30/09/2024**
Scale
Drawn: **ML**
Project No. **BGYYW**
Checked **SA**
Revision **06**
Authorised **SA**
Drawing No. **A102**



1 DEMOLITION PLAN

1 : 200

VIEW _1_NO.5 & NO.7



VIEW _2_NO.9

VIEW _3_NO.9 & NO.11

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DEMOLITION NOTES

DEMOLITION
DEMOLITION WORKS TO BE CONDUCTED IN ACCORDANCE WITH AS2601-2011: THE DEMOLITION OF STRUCTURES AND WORKERCOVER REQUIREMENTS

GENERAL
REMOVE EXISTING TREES, SVRUBS AND THE LIKE WHERE INDICATED ON THE DRAWINGS TO BE REMOVED AND AS NECESSARY TO CONSTRUCT THE WORKS, INCLUDING THE GRUBBING OUT OF THE TREE STUMPS

REMOVAL OF EXISTING PAVING, ACCESS PATHWAYS, STAIRS, CONCRETE SLABS, ASPHALTIC SURFACES, FOOTINGS, CONCRETE KERB SURROUNDS, FENCING, RETAINING WALLS, GARDEN BEDS, CHAIN WIRE BARRIERS, AND ASSOCIATED EQUIPMENT

REMOVE ALL EXISTING BOUNDARY FENCING OR WALLING TO PROPERTY ALIGNMENTS.

ALL REDUNDANT INGROUND SERVICES AND ALL EXISTING FOOTINGS FROM REMOVED STRUCTURES TO BE REMOVED.

THE CONTRACTOR SHALL ARRANGE FOR A QUALIFIED HYGIENIST TO INSPECT, REPORT AND CERTIFY CLEARANCE OF ALL MATERIAL REMOVED FROM SITE PRIOR TO DEMOLITION AND TO PROVIDE A CLEARANCE CERTIFICATE AFTER DEMOLITION IS COMPLETED

OPERATING HOURS
TO MINIMISE UNDUE LOSS OF AMENITY, HOURS OF WORK FOR DEMOLITION/ EXCAVATION/ CONSTRUCTION ARE TO BE RESTRICTED ABSOLUTELY TO THE HOURS INDICATED IN THE CONDITIONS OF CONSENT.

ACCESS POINT
TO LIMIT DISTURBANCE TO THE SITE AND TRACKING OF MATERIAL ONTO THE STREET, ALL VEHICLES AND PLANT EQUIPMENT WILL USE A SINGLE ENTRY / EXIT POINT.
A SEDIMENT CONTROL DEVICE IS TO BE PLACED AT THE SITE ACCESS POINT TO PREVENT SEDIMENT DEPOSITION ON ADJOINING ROADS.
THE CONTRACTOR IS RESPONSIBLE TO REMOVE ANY MATERIAL DEPOSITED OFFSITE AS A RESULT OF SPILLAGE OR VEHICLE MOVEMENT. RESTORE AREA TO PREVIOUS STANDARD OR EQUAL
FORM VEHICLE CROSSING FROM 150X50 HARDWOOD PLANKS, CHAMFERED AT ENDS. LAY OVER 150mm ROAD BASE. TIE WITH HOOP IRON STRAPS AT 600C/C.

DISPOSAL OF CONTAMINANTS AND HAZARDOUS MATERIALS
THE MANAGEMENT AND DISPOSAL OF CONTAMINANTS AND HAZARDOUS MATERIALS, INCLUDING ASBESTOS, CHEMICALS, OILS SHALL BE IN ACCORDANCE WITH THE CURRENT RELEVANT LEGISLATION INCLUDING:

WORK HEALTH AND SAFETY ACT 2011
WORK HEALTH AND SAFETY REGULATION 2011
PROTECTION OF ENVIRONMENT OPERATIONS ACT 1997
PROTECTION OF ENVIRONMENT OPERATIONS (WASTE) REGULATION 1997
ENVIRONMENTALLY HAZARDOUS CHEMICALS ACT 1985
AS2601 CLAUSE 1.6.2

ASBESTOS REMOVAL
- THESE PROPERTIES WERE BUILT BEFORE 31.12.1987 AND IS LIKELY TO HAVE ASBESTOS
CONTAINING MATERIAL. IF DEMOLITION INVOLVES THE DEMOLITION OF BUILDINGS OR PART OF A BUILDING THAT MAY CONTAIN ASBESTOS, A HAZMAT REPORT DOCUMENTING THE EXTENT OF ASBESTOS REMOVAL REQUIRED AND CONFIRMING THAT THE REMOVAL WILL BE UNDERTAKEN IN ACCORDANCE WITH WORKCOVER NSW REQUIREMENTS MUST BE PROVIDED.
- ROOFING AND CLADDING MATERIALS MUST BE CHECKED FOR THE PRESENCE OF ASBESTOS BEFORE ANY SUCH MATERIAL IS DISTURBED OR REPLACED. ALL WORK, WHICH INVOLVES THE REMOVAL OF PRODUCTS CONTAINING ASBESTOS OR BRINGS PERSONS INTO CONTACT WITH ASBESTOS, MUST ONLY BE PERFORMED BY PERSONS LICENSED BY AND HOLDING A PERMIT ISSUED BY WORKCOVER AUTHORITY UNDER
WORK HEALTH AND SAFETY REGULATION 2011. A COPY OF LICENCE MUST BE SUBMITTED TO THE SUPERINTENDENT/AUTHORISED PERSON PRIOR TO COMMENCEMENT OF THIS WORK. IF ASBESTOS MATERIALS ARE ENCOUNTERED (I.E. IN THE GROUND) DURING CONSTRUCTION WORKS, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE SUPERINTENDENT / AUTHORISED PERSON AND SEEK FURTHER DIRECTIONS

DEMOLISHED MATERIAL
REMOVAL - TAKE POSSESSION OF DEMOLISHED MATERIALS AND REMOVE THEM FROM THE SITE EXCEPT FOR ITEMS TO BE RECOVERED FOR RE-USE. BURNING OR BURYING DEMOLISHED MATERIALS ARE STRICTLY PROHIBITED ON THE SITE. PREVENT SPILLAGE OF DEMOLISHED MATERIALS IN TRANSIT

RECYCLE - DISMANTLE BUILDING COMPONENTS FOR OFF-SITE RECYCLING

DISPOSAL
REMOVE CLEARED AND GRUBBED MATERIAL FROM THE SITE AND DISPOSE OF LEGALLY

NOTICE OF COMPLETION GENERAL
GIVE AT LEAST 5 WORKING DAYS' NOTICE OF COMPLETION OF DEMOLITION SO THAT ADJACENT STRUCTURES MAY BE INSPECTION FOLLOWING COMPLETION OF DEMOLITION

TREE PROTECTION
PROTECT EXISTING TREES AS SPECIFIED AND NOTED IN ARBORIST REPORT
- TREE PROTECTION ZONE (TPZ) IN ACCORDANCE WITH AS4970-2009 SECTION 3
- TREE PROTECTIVE MEASURES TO BE CONDUCTED IN ACCORDANCE WITH AS4970 SECTION 4

HARMFUL MATERIALS - KEEP AREA WITHIN DRIPLINE FREE OF SHADES AND PATHS, CONSTRUCTION MATERIAL AND DEBRIS
HAND METHODS - USE HAND METHODS TO LOCATE, EXPOSE AND CLEANLY REMOVE THE ROOTS ON THE LINE OF EXCAVATION
WORK UNDER TREES - DO NOT REMOVE TOPSOIL FROM, OR ADD TOPSOIL TO, AREAS WITHIN DRIPLINE OF TREES

PROTECTION OF TREES ON DEVELOPMENT SITES

PROTECTION OF TREES ON DEVELOPMENT SITES:

THIS TREE PROTECTION PLAN RECOMMENDS ,TREES T1,T4,T7,T15,T18,T19,T20,T21T22 TO T25 ARE LOCATED WITHIN THE SITE AND AND ADJOINING TO BE RETAINED AND PROTECTED FOR THE DURATION OF DEVELOPMENT CONSENT. TRESS T1,T7 AND T19 TIMBER BATTERN ARE PROPOSED TO BE ERECTED AROUND BASED ON AS 4970-2009 PROTECTION OF TREES ON DEVELOPMENT SITES.TREES THAT HAVE A TPZ -TREE PROTECTION ZONE AND SRZ -STRUCTURAL ROOT ZONE, REFER TO SITE PLAN AND ARBORIST REPORT.TREES T22 -T25 TREE PROTECTION ZONE FENCING TO BE ERECTED REFER TO ARBORUST REPORT.
THE ALIGNMENT OF THE DEVELOPMENT IS AN ENCROACHMENT TO THIS SPECIMEN. THE SECTION OF THE DEVELOPMENT WITHIN THE TPZ OF THESE SPECIMENS IS TO BE CONSTRUCTED USING TREE SENSITIVE EXCAVATION AND CONSTRUCTION TECHNIQUES SUCH AS PIER AND BEAM CONSTRUCTION WITH A SUSPENDED SLAB TO REDUCE ANY IMPACT ON THEIR STABILITY WITH PIERS TO BE DUG BY HAND WITH NON-MOTORISED MACHINERY TO FURTHER ASSIST IN THEIR PROTECTION.

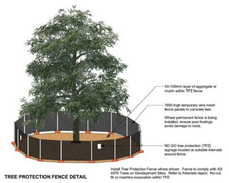
PRUNING STANDARDS
- ANY PRUNING RECOMMENDED IN THIS REPORT IS TO BE TO THE AUSTRALIAN STANDARD® AS4373 *PRUNING OF AMENITY TREES*, AND CONDUCTED IN ACCORDANCE WITH THE NSW WORK COVER AUTHORITY CODE OF PRACTICE, TREE WORK, 2007.
- ALL PRUNING OR REMOVAL WORKS ARE TO BE IN ACCORDANCE WITH THE APPROPRIATE TREE MANAGEMENT POLICY WHERE APPLICABLE, OR TREE MANAGEMENT ORDER (TMO), OR TREE PRESERVATION ORDER (TPO).
- TREE MAINTENANCE WORK IS SPECIALISED AND IN ORDER TO BE UNDERTAKEN SAFELY TO ENSURE THE WORKS CARRIED OUT ARE NOT DETRIMENTAL TO THE SURVIVAL OF A TREE BEING RETAINED, AND TO ASSIST IN THE SAFE REMOVAL OF ANY TREE, SHOULD BE UNDERTAKEN BY A QUALIFIED ARBORICULTURIST WITH APPROPRIATE COMPETENCIES RECOGNISED WITHIN THE AUSTRALIAN QUALIFICATION FRAMEWORK, WITH A MINIMUM OF 5 YEARS OF CONTINUAL EXPERIENCE WITHIN THE INDUSTRY OF OPERATIONAL AMENITY ARBORICULTURE, AND COVERED BY APPROPRIATE AND CURRENT TYPES OF INSURANCE TO UNDERTAKE SUCH WORKS.

GENERAL – TREE PROTECTION WORKS – PRIOR TO DEMOLITION
- *MILESTONE* – PRIOR TO DEMOLITION WORKS, A SITE ARBORIST SHALL BE APPOINTED TO SUPERVISE ALL TREE PROTECTION PROCEDURES DETAILED IN THIS SPECIFICATION. THE SITE ARBORIST SHALL HAVE A MINIMUM LEVEL 5 AQF QUALIFICATION IN ARBORICULTURE. MILESTONES ARE TO BE ADHERED TO THROUGHOUT THE DURATION OF THIS DEVELOPMENT AND ALL RELEVANT DOCUMENTATION IS TO BE SUBMITTED TO THE LOCAL AUTHORITY.
- THE TREE PROTECTION ZONE FOR EACH TREES IS TO BE INCORPORATED INTO THE CONSTRUCTION WORKS FOR THE SITE AND THE PROTECTION FENCING OR WORKS AS SPECIFIED IN THE REPORT. THE SETBACKS FROM BUILDING WORKS ON THE SIDE CLOSEST TO EACH TREE ARE TO BE CARRIED OUT IN ACCORDENCE TO THE TREE PROTECTION ZONE. THE TREES WILL BE SUSTAINED WITHIN THE CONSTRAINTS OF THE MODIFICATIONS TO THE SITE BY THE PROPOSED DEVELOPMENT WORKS.TREES AS NOTED TO BE RETAINED AND PROTECTED AND INCORPORATED INTO THE LANDSCAPE WHERE APPROPRIATE AND INSTALLED PRIOR TO ANY DEMOLITION OR CONSTRUCTION.
- GROUND PROTECTION - IF TEMPORARY ACCESS FOR MACHINERY IS REQUIRED WITHIN THE TPZ GROUND PROTECTION MEASURES WILL BE REQUIRED. THE PURPOSE OF GROUND PROTECTION IS TO PREVENT ROOT DAMAGE AND SOIL COMPACTION WITHIN THE TPZ. MEASURES MAY INCLUDE A PERMEABLE MEMBRANE SUCH AS GEOTEXTILE FABRIC BENEATH A LAYER OF MULCH OR CRUSHED ROCK BELOW RUMBLE BOARDS. THESE MEASURES MAY BE APPLIED TO ROOT ZONES BEYOND THE TPZ.
- WHERE APPLICABLE, ANY EXCAVATION FOR THE ESTABLISHMENT OF A BATTER SLOPE OR BENCHING FOR REASONS OF SAFETY AND TO COMPLY WITH WORK COVER AUTHORITY SAFETY REGULATIONS SHOULD BE RESTRICTED AS FAR AS IS SAFELY POSSIBLE NEAR TO TREES TO BE RETAINED TO PREVENT ROOT DAMAGE. IF THE EXCAVATIONS CANNOT BE UNDERTAKEN NEAR TO VERTICAL THE STABILITY OF THESE TREES AND THEIR LONG-TERM VIABILITY MAY BE COMPROMISED AND THEIR RETENTION IN A SAFE AND HEALTHY CONDITION JEOPARDIZED AND THEY MAY NEED TO BE REVISED AND POSSIBLY REMOVED.

SPECIFIC - TREE PROTECTION WORKS - PRIOR TO DEMOLITION AND TREE REMOVAL
ALL OTHER TREES/SHRUBS; PRIOR TO DEMOLITION AND TREE REMOVAL WORKS THESE TREE/S ARE TO BE PLACED WITHIN A TREE PROTECTION ZONE WITH PROTECTIVE FENCING AND MAINTAINED AND RETAINED UNTIL THE COMPLETION OF ALL BUILDING WORKS. PROTECTIVE FENCING IS TO BE INSTALLED AS SHOWN IN APPENDIX F - TREE PROTECTION PLAN.
- THE PROTECTIVE FENCING WHERE REQUIRED MAY DELINEATE THE **TREE PROTECTION ZONE (TPZ)** AND SHOULD BE SITUATED AS DETERMINED BY THE PROJECT ARBORIST IN ACCORDANCE WITH AS4970 PROTECTION OF TREES ON DEVELOPMENT SITES, "FENCING SHOULD BE ERECTED BEFORE ANY MACHINERY OR MATERIALS ARE BROUGHT ONTO THE SITE AND BEFORE THE COMMENCEMENT OF WORKS INCLUDING DEMOLITION. ONCE ERECTED, PROTECTIVE FENCING MUST NOT BE REMOVED OR ALTERED WITHOUT APPROVAL BY THE PROJECT ARBORIST. THE TPZ MUST BE SECURED TO RESTRICT ACCESS. AS4687 TEMPORARY FENCING AND HOARDINGS SPECIFIES APPLICABLE FENCING REQUIREMENTS. SHADE CLOTH OR SIMILAR SHOULD BE ATTACHED TO REDUCE THE TRANSPORT OF DUST, OTHER PARTICULATE MATTER AND LIQUIDS INTO THE PROTECTED AREA. FENCE POSTS AND SUPPORTS SHOULD HAVE A DIAMETER GREATER THAN 20 MM AND BE LOCATED CLEAR OF ROOTS. EXISTING PERIMETER FENCING AND OTHER STRUCTURES MAY BE SUITABLE AS PART OF THE PROTECTIVE FENCING" OR SIMILAR.
- TREE PROTECTION SIGNAGE IS TO BE ATTACHED TO EACH **TPZ** AND DISPLAYED FROM WITHIN THE DEVELOPMENT SITE IN ACCORDANCE WITH AS4970 2009 PROTECTION OF TREES ON DEVELOPMENT SITES
- THE AREA OF THE TREE PROTECTION ZONE TO BE MULCHED TO A DEPTH OF 100 MM WITH ORGANIC MATERIAL BEING 75% LEAF LITTER AND 25% WOOD, AND THIS BEING COMPOSTED MATERIAL PREFERABLY FROM THE SAME GENUS AND SPECIES OF TREE AS THAT TO WHERE THE MULCH IS TO BE APPLIED, I.E. SPECIES-SPECIFIC MULCH WHERE POSSIBLE. THE DEPTH OF MULCH AND TYPE AS INDICATED, TO BE MAINTAINED FOR THE DURATION OF THE PROJECT. WHERE DEEP EXCAVATION WILL EXPOSE THE SOIL PROFILE TO DRYING OUT THE ROOT PLATE IS TO BE PROTECTED BY PEGGING JUTE MATTING ACROSS THE GROUND SURFACE 2 M BACK FROM THE EDGE OF THE PROFILE AND 2 M DOWN THE FACE OF THE PROFILE AND IS TO BE IN ONE CONTINUOUS SHEET OR LAYERS UP TO 5 MM THICK AND OVERLAPPED 300 MM AND PEGGED. PEGS ARE TO BE A MINIMUM LENGTH OF 200 MM AND SPACED AT 500 MM INCREMENTS IN A GRID PATTERN. ONCE INSTALLED MULCH IS TO BE PLACED ON TOP OF THE JUTE MATTING PREVIOUSLY DESCRIBED.
THERE IS TO BE NO STORAGE OF MATERIALS, RUBBISH, SOIL, EQUIPMENT, STRUCTURES, OR GOODS OF ANY TYPE TO BE KEPT OR PLACED WITHIN 5 METRES FROM THE TRUNK OR WITHIN THE DRIPLINE OF ANY TREE FOR THE DURATION OF THE DEVELOPMENT. THIS WILL ENSURE PROTECTION OF THE TREE/S TO BE RETAINED ON OR ADJACENT TO SITE.
MILESTONE - PROJECT/SITE ARBORIST IS TO INSPECT/ASSESS ALL RETAINED SPECIMENS PRIOR TO DEMOLITION TO INSPECT TREE PROTECTION MEASURES TO MONITOR THAT THEY HAVE BEEN CARRIED OUT AS PER THE APPROVED D/A CONDITIONS FOR THE SITE. DOCUMENTATION IS TO BE SUBMITTED TO THE CONSENTING AUTHORITY AFTER EACH INSPECTION

DEMOLITION AND TREE REMOVAL/S
REMOVAL OF A TREE WITHIN 6 M OF A TREE TO BE RETAINED SHOULD BE UNDERTAKEN ONLY BY CUTTING DOWN SUCH A TREE WITHOUT DAMAGING THE TREES TO BE RETAINED, AND BY GRINDING OUT ITS STUMP. WHERE POSSIBLE THE STRUCTURAL ROOTS OF 20 MM DIAMETER OR GREATER OF THE TREE TO BE CUT DOWN SHOULD NOT BE REMOVED, TO MINIMISE SOIL DISTURBANCE AND TO REDUCE THE IMPACT ON THE ROOTS OF ANY TREE TO BE RETAINED NEARBY. WHERE STRUCTURAL ROOTS ARE TO BE REMOVED THIS SHOULD BE UNDERTAKEN MANUALLY BY THE USE OF NON-MOTORISED HAND TOOLS AFTER THE STUMP HAS BEEN GROUND OUT WHEN SUCH ROOTS ARE OFTEN EASIER TO LOCATE FROM THE SITE OF THE STUMP FROM WHICH THEY HAVE BEEN SEVERED. GROUND PROTECTION IN ACCORDANCE WITH AS4970 MAY REQUIRE STEEL PLATES TO PROTECT THE GROUND SURFACE FROM COMPACTION TO PROTECT ROOTS BETWEEN THE STAGES OF DEMOLITION AND CONSTRUCTION.

SPECIFIC - TREE PROTECTION WORKS – DURING DEMOLITION
DEMOLITION OF EXISTING BUILDINGS SHOULD BE UNDERTAKEN WITH ACCESS RESTRICTED TO THE DRIVEWAY AND THE BUILDING PLATFORM FOR EACH OF THE EXISTING BUILDINGS, OR TO AREAS OF THE LAND WHERE NO TREES ARE GROWING WITHIN 6M OF ANY TREE TO BE RETAINED, WHERE ACCESS OR SPACE FOR A SAFE WORKING ENVIRONMENT IS RESTRICTED, OR WHERE THE AREA OF THE 6M SET BACK MUST BE COMPROMISED, A 100 MM LAYER OF WOOD MULCH MUST BE LAID OVER THE AREA OF ENCROACHMENT. WHERE VEHICULAR ACCESS IS REQUIRED ACROSS THE MULCH LAYER FURTHER ROOT PROTECTION SHOULD BE PROVIDED BY LAYING A TEMPORARY PATHWAY OVER THE MULCH. THE TEMPORARY PATHWAY SHOULD BE CONSTRUCTED OF A GRATED STEEL MATERIAL CAPABLE OF SUPPORTING THE VEHICLES USED DURING DEMOLITION E.G., LIKE RAMPS USED TO LOAD VEHICLES ONTO THE BACKS OF TRUCKS. TRUNKS OF TREES MAY REQUIRE PROTECTION FROM VEHICULAR DAMAGE.
DEMOLITION OF LANDSCAPE STRUCTURES: THE DEMOLITION OF WALLS, DRIVEWAYS RETAINING WALLS, PATHS, AND POOLS ETC. WITHIN 6 M OF A TREE TO BE RETAINED SHOULD BE UNDERTAKEN MANUALLY USING HAND TOOLS. WHERE A DRIVEWAY IS TO BE DEMOLISHED BEING OF CONCRETE STRIP OR SLAB TYPE CONSTRUCTION, IT SHOULD BE UNDERTAKEN BY WORKING FROM THE END OF THE DRIVEWAY CLOSEST TO THE BUILDING BACK TOWARDS THE STREET BY UTILISING THE DRIVEWAY AS A STABLE PLATFORM TO PREVENT SOIL COMPACTION. WHERE A CONCRETE SLAB DRIVEWAY PASSES LESS THAN 1 M FROM THE BASE OF A TREE AND THE AREA BENEATH THE DRIVEWAY IS TO BE UNDISTURBED AND INCORPORATED INTO THE LANDSCAPE WORKS FOR THE SITE, THE VOLUME OF SPACE PREVIOUSLY OCCUPIED BY THE DRIVEWAY MUST BE REPLACED WITH LOCAL TOP SOIL FROM THE SITE OR OTHERWISE A LOAMY SAND, TO REPLACE THE MASS OF THE CONCRETE ON THE ROOT PLATE WHICH MAY BE CRITICAL TO THE BALLAST AND CENTRE OF MASS FOR THE STABILITY OF THE TREE. IF THE TREE BECOMES UNSTABLE IMMEDIATELY CONTACT THE CONSULTANT ARBORICULTURIST.



TREE PROTECTION FENCE DETAIL

PROTECTION OF TREES ON DEVELOPMENT SITES

SPECIFIC - TREE PROTECTION WORKS – POST DEMOLITION AND PRIOR TO CONSTRUCTION
MILESTONE - PROJECT/SITE ARBORIST IS TO INSPECT/ASSESS ALL RETAINED SPECIMENS PRIOR TO CONSTRUCTION IN RELATION TO TREE PROTECTION MEASURES TO MONITOR THAT THEY HAVE BEEN CARRIED OUT AS PER THE APPROVED D/A CONDITIONS FOR THE SITE. DOCUMENTATION IS TO BE SUBMITTED TO THE CONSENTING AUTHORITY AFTER EACH INSPECTION.
LOCATION OF UNDERGROUND UTILITIES WITHIN A TREE PROTECTION ZONE OF A RETAINED SPECIMEN.
ANY UTILITY SERVICES TO BE SITUATED UNDERGROUND WITHIN THE TPZ ARE TO BE UNDERTAKEN UTILISING EXCAVATION TECHNIQUES THAT PREVENT OR MINIMISE DAMAGE TO STRUCTURAL ROOTS (ROOTS GREATER THAN >20 MM DIAMETER), TO PREVENT SOIL COMPACTION AND ROOT DAMAGE THESE WORKS SHOULD BE CONDUCTED WITH NON-MOTORISED HAND TOOLS, AIR KNIFE OR DIRECTIONAL DRILLING.
REGARDING OF SITE NEAR RETAINED TREES: GRADING &/OR RE-GRADING OF SITES/SLOPES WITHIN TREE PROTECTION ZONES OR NEAR RETAINED SPECIMENS IS TO BE UNDERTAKEN **ONLY** IF AT ALL, AFTER CONSULTATION WITH THE PROJECT ARBORIST. THIS IS TO PROTECT ALL STRUCTURAL ROOTS SYSTEMS FROM DAMAGE OR COMPACTION FROM MACHINERY.
PLACEMENT OF RELOCATABLE BUILDINGS; CONSIDERATION SHOULD BE GIVEN TO TREE SENSITIVITY, SUCH AS THE BUILDINGS BEING PLACED ON PIER AND BEAM OR SKIDS CONSTRUCTION AS THEY ARE TO BE POSITIONED ON THEIR DRIPLINES WITHIN THE TREE PROTECTION ZONE (TPZ). THE AREA OF THE TREE PROTECTION ZONE UNDER THE BUILDINGS IS TO BE MULCHED TO A DEPTH OF 200 MM (*IF INSTALLED ON SKIDS*) WITH ORGANIC MATERIAL TO FURTHER REDUCE COMPACTION. THE MULCH IS TO BE COMPOSTED MATERIAL, I.E. SPECIES-SPECIFIC MULCH. ALTERNATIVELY, IF INSTALLED ON A PIER & BEAM CONSTRUCTION, PIERS ARE TO BE UNDERTAKEN MANUALLY BY USING NON-MOTORISED HAND TOOLS TO DETERMINE THE LOCATION OF FIRST ORDER AND LOWER ORDER STRUCTURAL ROOTS WITH A DIAMETER OF 20 MM (*STRUCTURAL WOODY ROOTS*) OR GREATER, WITHOUT DAMAGING THEM.

SPECIFIC - TREE PROTECTION WORKS – DURING CONSTRUCTION
MILESTONE - PROJECT/SITE ARBORIST IS TO INSPECT/ASSESS ALL RETAINED SPECIMENS DURING CONSTRUCTION IN RELATION TO TREE PROTECTION MEASURES TO MONITOR THAT THEY HAVE BEEN CARRIED OUT AS PER THE APPROVED D/A CONDITIONS FOR THE SITE. DOCUMENTATION IS TO BE SUBMITTED TO THE CONSENTING AUTHORITY AFTER EACH INSPECTION.
WHERE ANY STRUCTURAL ROOTS (ROOTS WITH A DIAMETER OF GREATER THAN >20 MM) ENCOUNTERED BY EXCAVATION ARE TO BE PRUNED AND IT IS TO BE UNDERTAKEN WITH CLEAN SHARP PRUNING TOOLS, WITH A FINAL CUT TO UNDAMAGED WOOD TO PREVENT INFESTATION BY PATHOGENS AND ASSIST CONTINUED ROOT GROWTH AND UNDERTAKEN IN CONSULTATION WITH THE CONSULTING ARBORICULTURIST. TREE PROTECTION ZONE FENCES ARE TO BE MAINTAINED DURING THESE WORKS. GROUND PROTECTION IN ACCORDANCE WITH AS4970 MAY REQUIRE STEEL PLATES TO PROTECT THE GROUND SURFACE FROM COMPACTION TO PROTECT ROOTS BETWEEN THE STAGES OF DEMOLITION AND CONSTRUCTION OF THE NEW PAVEMENT.
ALL TREE PROTECTION ZONES OF RETAINED TREES ARE TO BE MONITORED FOR THE DURATION OF THE CONSTRUCTION PHASE OF THE DEVELOPMENT. THE THREE MAIN AREAS REQUIRING MONITORING ARE: *MULCHING* - MULCH MUST BE MAINTAINED TO A DEPTH OF 50–100 MM USING MATERIAL THAT COMPLIES WITH AS 4454. WHERE THE EXISTING LANDSCAPE WITHIN THE TPZ IS TO REMAIN UNALTERED (E.G. GARDEN BEDS OR TURF) MULCH MAY NOT BE REQUIRED, WATERING - SOIL MOISTURE LEVELS SHOULD BE REGULARLY MONITORED BY THE PROJECT ARBORIST. TEMPORARY IRRIGATION OR WATERING MAY BE REQUIRED WITHIN THE TPZ. AN ABOVE-GROUND IRRIGATION SYSTEM COULD BE INSTALLED AND MAINTAINED BY A COMPETENT INDIVIDUAL AND WEEDING - WEEDS SHOULD BE REMOVED BY HAND WITHOUT DISTURBING SOIL OR SHOULD BE CONTROLLED WITH WEEDICIDE.
TREES TO BE REMOVED ARE TO BE REPLACED WITH ADVANCED SPECIMENS BEING MINDFUL OF THE SPACE LIMITATIONS OF THE NEW USE OF THE SITE. THE ADVANCED TREES SHOULD BE SITUATED IN AREAS ALONG THE BOUNDARIES OF THE SITE. THE PLANTING IN THESE LOCATIONS WILL PROVIDE THE MAXIMUM BENEFIT TO THE SURROUNDING PROPERTIES BY SCREENING VIEWS TO AND FROM THE SITE AND THE PLANTINGS INCLUDED IN THE PROPOSED LANDSCAPE PLAN. THE REPLACEMENT TREES WILL BE SITUATED IN POSITIONS WHERE THEY MAY GROW TO MATURITY UNHINDERED AND WILL NOT CONFLICT WITH BUILT STRUCTURES OR UTILITY SERVICES AND IN GREATER NUMBERS THAN THE TREES REMOVED SHOULD PROVIDE A NET INCREASE IN THE LOCAL AMENITY.

SPECIFIC - TREE PROTECTION WORKS – POST CONSTRUCTION
MILESTONE - AT COMPLETION OF CONSTRUCTION WORK THE SITE/PROJECT ARBORIST SHOULD CARRY OUT AN ASSESSMENT OF ALL TREES RETAINED &/OR AFFECTED BY WORKS. THIS ASSESSMENT IS TO DOCUMENT ANY REQUIRED ON-GOING REMEDIAL CARE NEEDED TO ENSURE VIABLE RETENTION OF TREES AFFECTED. DOCUMENTATION IS TO BE SUBMITTED TO THE CONSENTING AUTHORITY.

NOTE: REFER TO ARBORIST REPORT

Rev	Date	AMENDEMENTS	Ckd
01	12/12/2023	STAGE B _ DRAFT	SA
02	12/02/2024	STAGE B	SA
03	09/05/2024	STAGE C	SA
04	27/06/2024	STAGE C UPDATE	SA
05	23/07/2024	STAGE C UPDATE	SA
06	30/09/2024	STAGE C UPDATE	SA

LEGEND

SUBJECT BOUNDARY
ADJOINING BOUNDARY
BUILDING/ STRUCTURE
ELECTICITY LINE (UNDERGROUND) E
ELECTICITY LINE (OVERHEAD) OH
ROAD CENTRELINE
TELECOMMUNICATION LINE/ OPTUS T
TELECOMMUNICATION FIBRE OPTIC LINE TFO

WATER LINE W
SEWER LINE S
EDGE OF CONCRETE
FENCE LINE
POWER POLE WITH LIGHT PP
LIGHT POLE LP
TELECOMMUNICATION PIT TP
HYDRANT H

MAN HOLE MH
WATER METER M
SEWER INSPECTION PIT
SURVEY STATION LH
EASEMENT TO DRAIN WATER (N530056)

EXISTING STRUCTURE
EXISTING STRUCTURE TO BE DEMOLISHED
EXISTING TREES TO BE REMOVED
EXISTING TREES TO BE RETAINED
EXISTING DWELLING /CONCRETE TO BE DEMOLISHED

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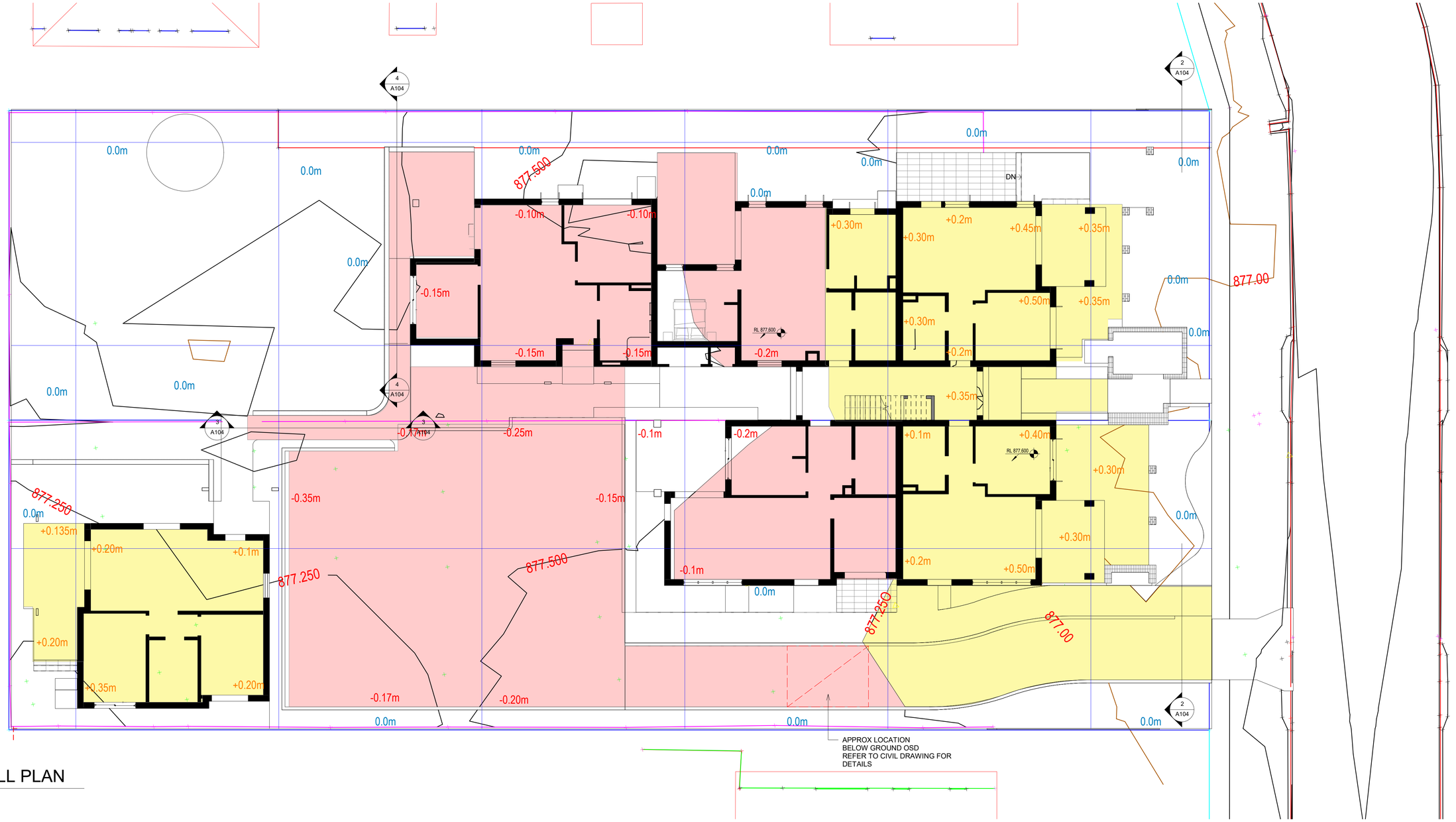
reg. no. 7271

PART 5

Project Name
RESIDENTIAL HOUSING 7-9 WATTLE AVENUE ORANGE NSW 2800
Lots 14 and 15 in DP 36132

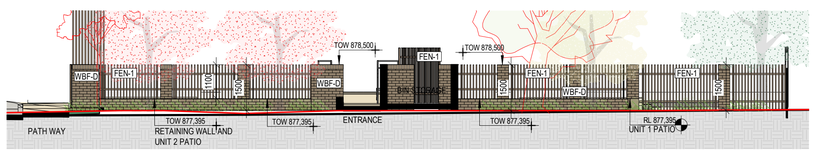
Sheet Title
DEMOLITION PLAN

Date: 30/09/2024
Scale
Drawn: Author
Project No. BGYYW
Checked Checker
Revision 06
Authorised Approver
Drawing No. A103



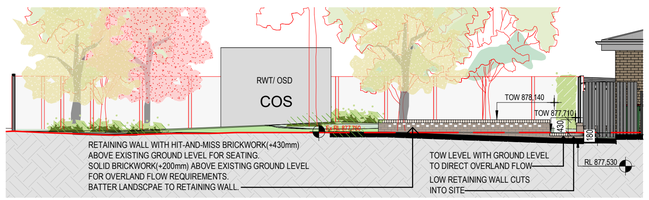
1 CUT AND FILL PLAN

1 : 100



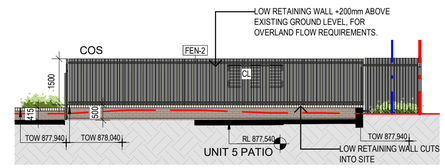
2 Retaining Wall Section - (Unit 1& 2)

1 : 100



3 Retaining Wall Section - (COS)

1 : 100



4 Retaining Wall Section - (Unit5)

1 : 100

Rev	Date	AMENDEMENTS	Ckd
01	12/12/2023	STAGE B _ DRAFT	SA
02	12/02/2024	STAGE B	SA
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05	23/07/2024	STAGE C UPDATE	SA
06	30/09/2024	STAGE C UPDATE	SA

LEGEND

CUT - varies

FILL - varies

Certificate No. 0009649680

Scan QR code or follow website link for rating details.

Assessor name Dean Gorman

Accreditation No. DMN/13/1645

Property Address 7-9 Wattle Avenue,Orange NSW,2800

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nominated architects:
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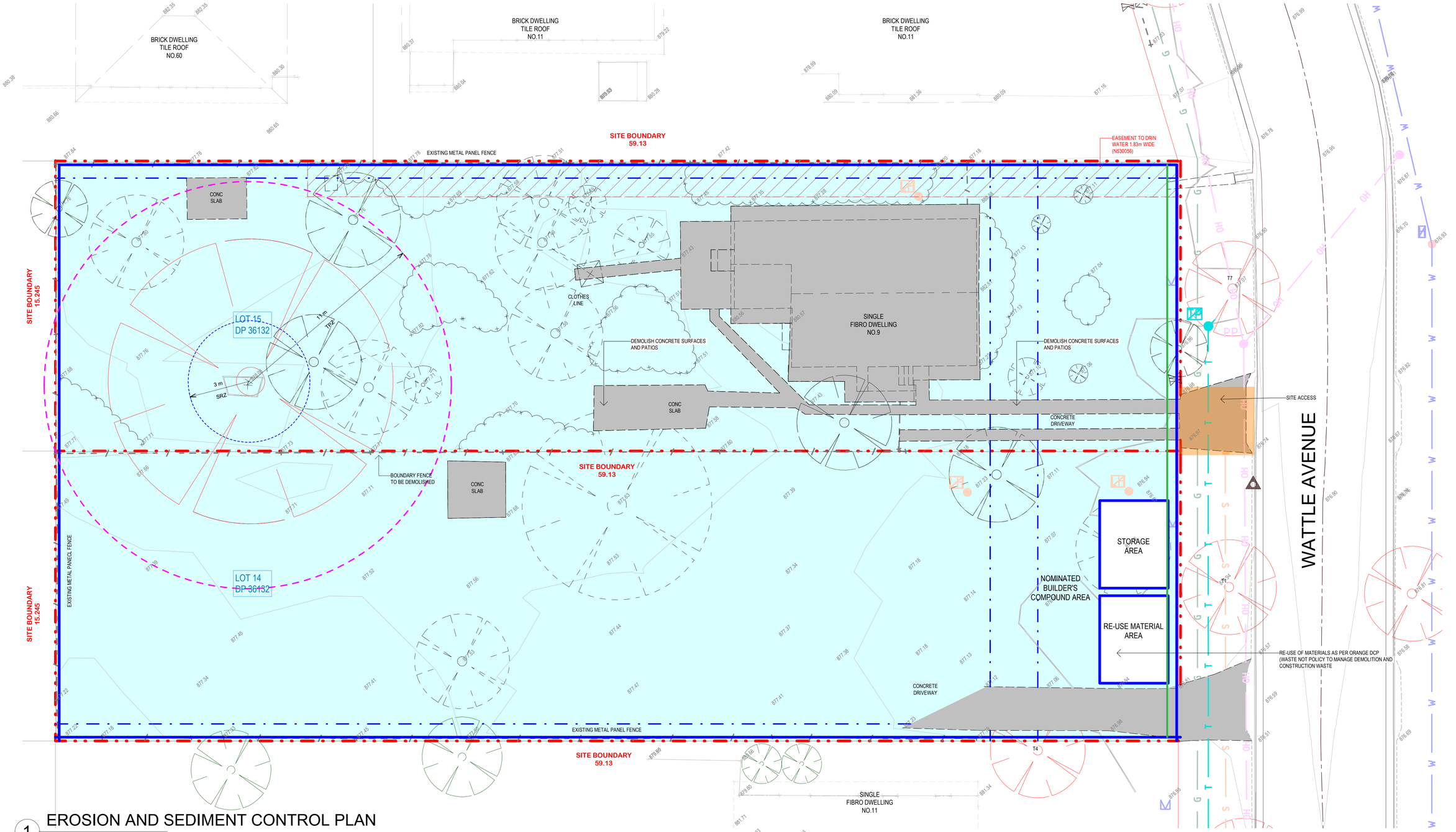
Robert McNamara
reg. no. 7271

Project Name
RESIDENTIAL HOUSING 7-9 WATTLE AVENUE ORANGE NSW 2800

Lots 14 and 15 in DP 36132

Sheet Title
CUT AND FILL PLAN

Date:	Scale
30/09/2024	
Drawn:	Project No.
Author	**BGYYW**
Checked	Revision
Checker	**06**
Authorised	Drawing No.
Approver	**A104**

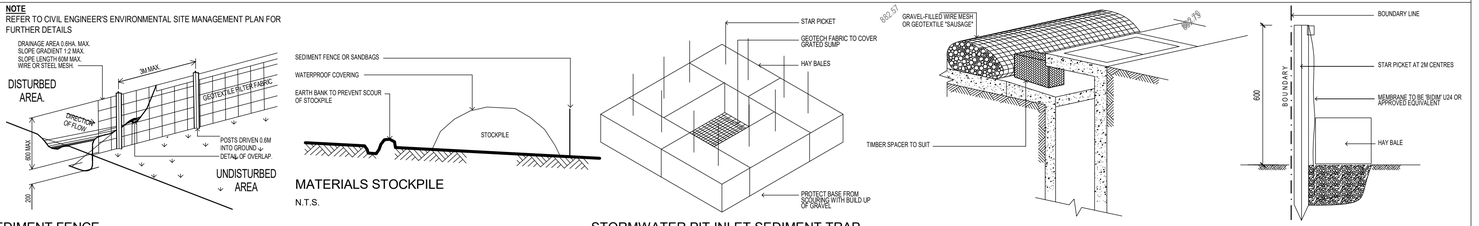


1 EROSION AND SEDIMENT CONTROL PLAN

1 : 100

EROSION AND SEDIMENT CONTROL MEASURES

NOTE
REFER TO CIVIL ENGINEER'S ENVIRONMENTAL SITE MANAGEMENT PLAN FOR FURTHER DETAILS



SEDIMENT FENCE
N.T.S.

MATERIALS STOCKPILE
N.T.S.

STORMWATER PIT INLET SEDIMENT TRAP
N.T.S.

PORTABLE GRAVEL KERB INLET SEDIMENT TRAP
N.T.S.

SILT FENCE DETAIL
N.T.S.

LEGEND:

- EXISTING ELECTRICAL SERVICES
- STORMWATER
- SEWER
- TPZ - TREE PROTECTION ZONE
- SRZ - STRUCTURAL ROOT ZONE
- TPZ - AREA OF SPECIAL PROTECTION MEASURES OUTSIDE OF FENCED AREA
- STORMWATER PITS
- EXISTING HYDRANT
- SEWER MANHOLE
- SEWER INSPECTION POINT
- TELSTRA PIT
- TREES TO BE REMOVED
- EXISTING TREES

Certificate No. 0009649680
Scan QR code or follow website link for rating details.
Assessor name Dean Gorman
Accreditation No. DMN/13/1645
Property Address 7-9 Wattle Avenue,Orange NSW,2800
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LEGEND
- TEMPORARY FENCE
- SEDIMENT CONTROL
- MAIN WORKS
- SITE ACCESS

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Robert McNamara
reg. no. 7271

PART 5

Project Name
RESIDENTIAL HOUSING 7-9 WATTLE AVENUE ORANGE NSW 2800
Lots 14 and 15 in DP 36132

Sheet Title
EROSION AND SEDIMENT CONTROL PLAN

Date: 30/09/2024
Scale
Drawn: Author
Project No. BGYYW
Checked Checker
Revision 06
Authorised Approver
Drawing No. A105

1 SITE PLAN
1 : 100

Certificate No. 0009649680
Scan QR code or follow website link for rating details.
Assessor name: Dean Gorman
Accreditation No.: DMN/13/1645
Property Address: 7-9 Wattle Avenue,Orange NSW,2800
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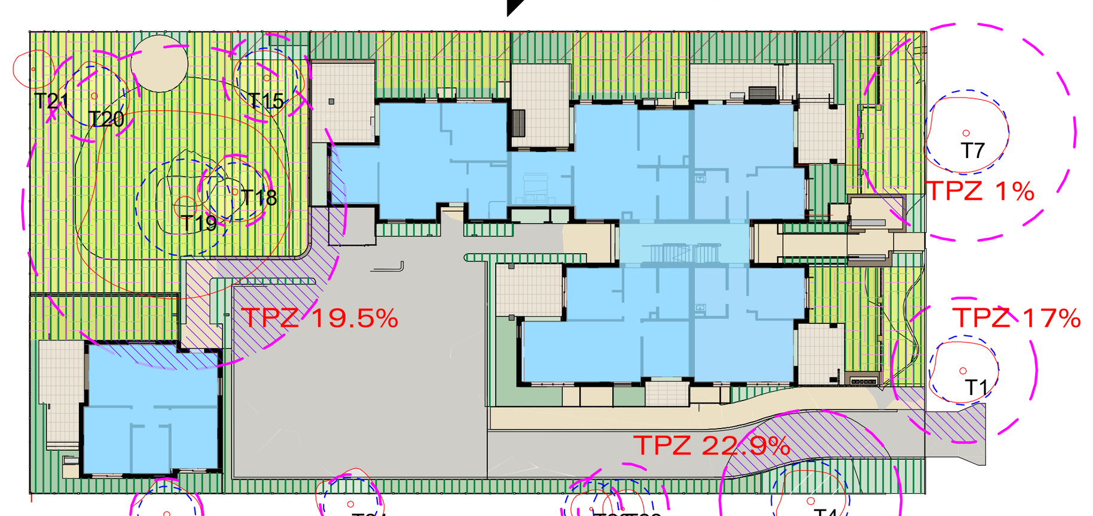
SITE CALCULATIONS

DEEP SOIL ZONE	367.4m²
LANDSCAPE AREA	657.7m²
FLOOR AREA - GFA	698.3m²
TREE PROTECTION ZONE ENCROACHMENT(%)	
T1	17%
T4	22.9%
T7	1%
T19	19.5%



2 SITE CALCULATION DIAGRAM
1 : 500

Rev	Date	AMENDEMENTS	Ckd
01	12/12/2023	STAGE B _ DRAFT	SA
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06	30/09/2024	STAGE C UPDATE	SA

LEGEND
- 1 BEDROOM UNIT
- 2 BEDROOM UNIT
- SRZ - STRUCTURE ROOT ZONE
- TPZ - TREE PROTECTION ZONE
- TPZ ENCROACHMENT
- TREE SPREAD
- SOLAR AMENITY >3hrs (9am - 3pm, 21th Jun)
- PROPOSED BIN STORAGE
- PATIO 3m x 3m
- ROOF EAVE
- SITE EXISTING STRUCTURE
- SITE SETBACK
- SITE BOUNDARY

AC	AIR CONDITIONER
LB	LETTER BOX
CL	CLOTHESLINE
LDY	LAUNDRY
OSD	ON SITE DETENTION TANK
POS	PRIVATE OPEN SPACE
TK	TOP OF KERB
TR	THRESHOLD RAMP
RS	ROOF SHEETING
SP	SOLAR PANELS
VG	VALLEY GUTTER

- GARDEN TAP
- LIGHT BOLLARD
- STORMWATER PITS
- AS1428.1 COMPLIANT DOOR CLEARANCE
- @ DOORS = STRIP DRAIN FLUSH THRESHOLDS
- PROPOSED TREES
- LANDSCAPED AREA
- 2500mm HIGH HEDGING SCREEN
- GARDEN BED
- SERVICES - EXISTING WATER
- SERVICES - EXISTING SEWER LINE
- SERVICES - EXISTING TELSTRA
- SERVICES - EXISTING GAS
- SERVICES - EXISTING ELECTRICITY - OVERHEAD

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Robert McNamara reg. no. 7271

PART 5

Project Name
RESIDENTIAL HOUSING 7-9 WATTLE AVENUE ORANGE NSW 2800
Lots 14 and 15 in DP 36132

Sheet Title
SITE PLAN

Date: 30/09/2024	Scale
Drawn: Author	Project No. BGYYW
Checked: Checker	Revision: 06
Authorised: Approver	Drawing No. A201

Certificate No. 0009649680
Scan QR code or follow website link for rating details.
Assessor name Dean Gorman
Accreditation No. DMN/13/1645
Property Address 7-9 Wattle Avenue,Orange NSW,2800
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GROUND FLOOR
1 : 100

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06	30/09/2024	STAGE C UPDATE	SA

LEGEND

- 1 BEDROOM UNIT
- 2 BEDROOM UNIT
- SRZ - STRUCTURE ROOT ZONE
- TPZ - TREE PROTECTION ZONE
- TPZ ENCROACHMENT
- TREE SPREAD
- ● SOLAR AMENITY >3hrs (9am - 3pm, 21th Jun)
- PROPOSED BIN STORAGE
- PATIO 3m x 3m
- ROOF EAVE
- SITE EXISTING STRUCTURE
- SITE SETBACK
- SITE BOUNDARY

AC	AIR CONDITIONER
LB	LETTER BOX
CL	CLOTHESLINE
LDY	LAUNDRY
OSD	ON SITE DETENTION TANK
POS	PRIVATE OPEN SPACE
TK	TOP OF KERB
TR	THRESHOLD RAMP
RS	ROOF SHEETING
SP	SOLAR PANELS
VG	VALLEY GUTTER

- GARDEN TAP
- LIGHT BOLLARD
- STORMWATER PITS
- AS1428.1 COMPLIANT DOOR CLEARANCE
- @ DOORS = STRIP DRAIN FLUSH THRESHOLDS
- PROPOSED TREES
- LANDSCAPED AREA
- 2500mm HIGH HEDGING SCREEN
- GARDEN BED
- SERVICES - EXISTING WATER
- SERVICES - EXISTING SEWER LINE
- SERVICES - EXISTING TELSTRA
- SERVICES - EXISTING GAS
- SERVICES - EXISTING ELECTRICITY - OVERHEAD

NSW GOVERNMENT

SARM Architects
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e architects@sarm.com.au
ABN 26 000 663 623
nominated architects:
Stephen Arlom
reg. no. 7645
Robert McNamara
reg. no. 7271

live learn work care

Project Name
RESIDENTIAL HOUSING 7-9 WATTLE AVENUE ORANGE NSW 2800
Lots 14 and 15 in DP 36132

Sheet Title
GROUND FLOOR PLAN

Date: 30/09/2024	Scale
Drawn: ML	Project No. BGYYW
Checked SA	Revision 06
Authorised RM	Drawing No. A202

Certificate No. 0009649680

Scan QR code or follow website link for rating details.

Assessor name: Dean Gorman

Accreditation No. DMN/13/1645

Property Address: 7-9 Wattle Avenue,Orange NSW,2800

hstar.com.au/QR/Generate?p=sutnBrYeP

FIRST FLOOR

1 : 100

Rev	Date	AMENDEMENTS	Ckd
01	12/12/2023	STAGE B _ DRAFT	SA
02	12/02/2024	STAGE B	SA
03	09/05/2024	STAGE C	SA
04	27/06/2024	STAGE C UPDATE	SA
05	23/07/2024	STAGE C UPDATE	SA
06	30/09/2024	STAGE C UPDATE	SA

LEGEND

- 1 BEDROOM UNIT
- 2 BEDROOM UNIT
- SRZ - STRUCTURE ROOT ZONE
- TPZ - TREE PROTECTION ZONE
- TPZ ENCROACHMENT
- TREE SPREAD
- SOLAR AMENITY >3hrs (9am - 3pm, 21th Jun)
- PROPOSED BIN STORAGE
- PATIO 3m x 3m
- ROOF EAVE
- SITE EXISTING STRUCTURE
- SITE SETBACK
- SITE BOUNDARY

AC	AIR CONDITIONER
LB	LETTER BOX
CL	CLOTHESLINE
LDY	LAUNDRY
OSD	ON SITE DETENTION TANK
POS	PRIVATE OPEN SPACE
TK	TOP OF KERB
TR	THRESHOLD RAMP
RS	ROOF SHEETING
SP	SOLAR PANELS
VG	VALLEY GUTTER

- GARDEN TAP
- LIGHT BOLLARD
- STORMWATER PITS
- AS1428.1 COMPLIANT DOOR CLEARANCE
- @ DOORS = STRIP DRAIN FLUSH THRESHOLDS
- PROPOSED TREES
- LANDSCAPED AREA
- 2500mm HIGH HEDGING SCREEN
- GARDEN BED
- SERVICES - EXISTING WATER
- SERVICES - EXISTING SEWER LINE
- SERVICES - EXISTING TELSTRA
- SERVICES - EXISTING GAS
- SERVICES - EXISTING ELECTRICITY - OVERHEAD

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nominated architects:
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Robert McNamara
reg. no. 7271

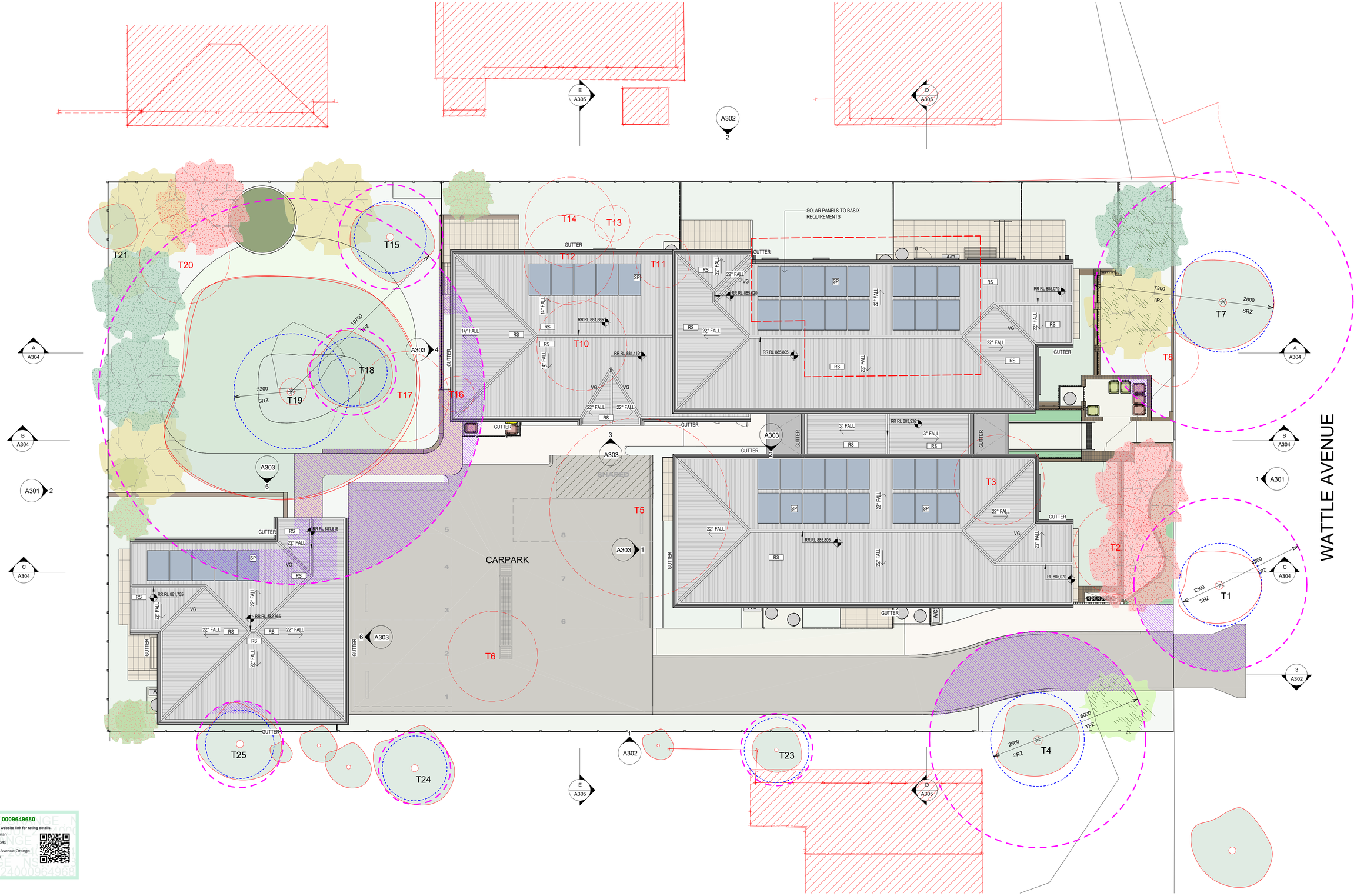
PART 5

Project Name: **RESIDENTIAL HOUSING 7-9 WATTLE AVENUE ORANGE NSW 2800**

Lots 14 and 15 in DP 36132

Sheet Title: **FIRST FLOOR PLAN**

Date: 30/09/2024	Scale
Drawn: ML	Project No. BGYYW
Checked SA	Revision 06
Authorised RM	Drawing No. A203



Certificate No. 0009649680

Scan QR code or follow website link for rating details.

Assessor name Dean Gorman

Accreditation No. DMN/13/1545

Property Address 7-9 Wattle Avenue,Orange NSW,2800

hstar.com.au/QR/Generate?r=sub/BrYeP

1 ROOF PLAN

1 : 100

Rev	Date	AMENDEMENTS	Ckd
01	12/12/2023	STAGE B _ DRAFT	SA
02	12/02/2024	STAGE B	SA
03	09/05/2024	STAGE C	SA
04	27/06/2024	STAGE C UPDATE	SA
05	23/07/2024	STAGE C UPDATE	SA
06	30/09/2024	STAGE C UPDATE	SA

LEGEND

- 1 BEDROOM UNIT
- 2 BEDROOM UNIT
- SRZ - STRUCTURE ROOT ZONE
- TPZ - TREE PROTECTION ZONE
- TPZ ENCROACHMENT
- TREE SPREAD
- SOLAR AMENITY >3hrs (9am - 3pm, 21th Jun)
- PROPOSED BIN STORAGE
- PATIO 3m x 3m
- ROOF EAVE
- SITE EXISTING STRUCTURE
- SITE SETBACK
- SITE BOUNDARY

AC	AIR CONDITIONER
LB	LETTER BOX
CL	CLOTHESLINE
LDY	LAUNDRY
OSD	ON SITE DETENTION TANK
POS	PRIVATE OPEN SPACE
TK	TOP OF KERB
TR	THRESHOLD RAMP
RS	ROOF SHEETING
SP	SOLAR PANELS
VG	VALLEY GUTTER

- GARDEN TAP
- LIGHT BOLLARD
- STORMWATER PITS
- AS1428.1 COMPLIANT DOOR CLEARANCE
- @ DOORS = STRIP DRAIN FLUSH THRESHOLDS
- PROPOSED TREES
- LANDSCAPED AREA
- 2500mm HIGH HEDGING SCREEN
- GARDEN BED
- SERVICES - EXISTING WATER
- SERVICES - EXISTING SEWER LINE
- SERVICES - EXISTING TELSTRA
- SERVICES - EXISTING GAS
- SERVICES - EXISTING ELECTRICITY - OVERHEAD

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reg. no. 7271

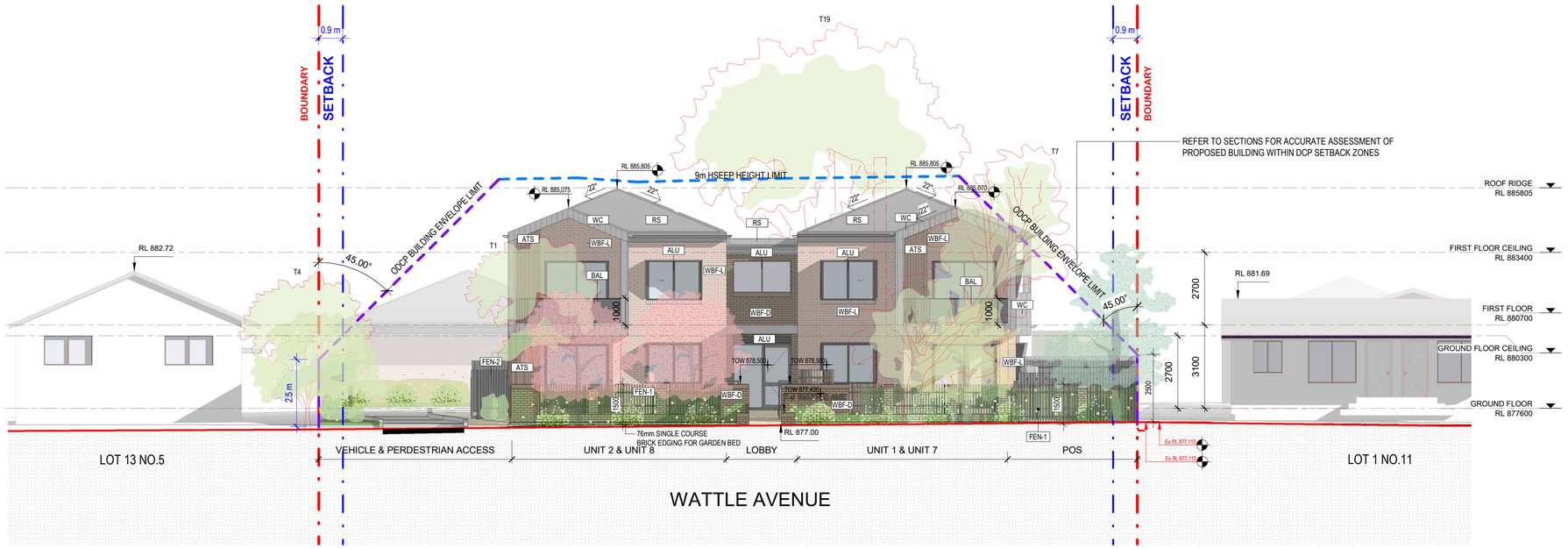
PART 5

Project Name
RESIDENTIAL HOUSING 7-9 WATTLE AVENUE ORANGE NSW 2800

Lots 14 and 15 in DP 36132

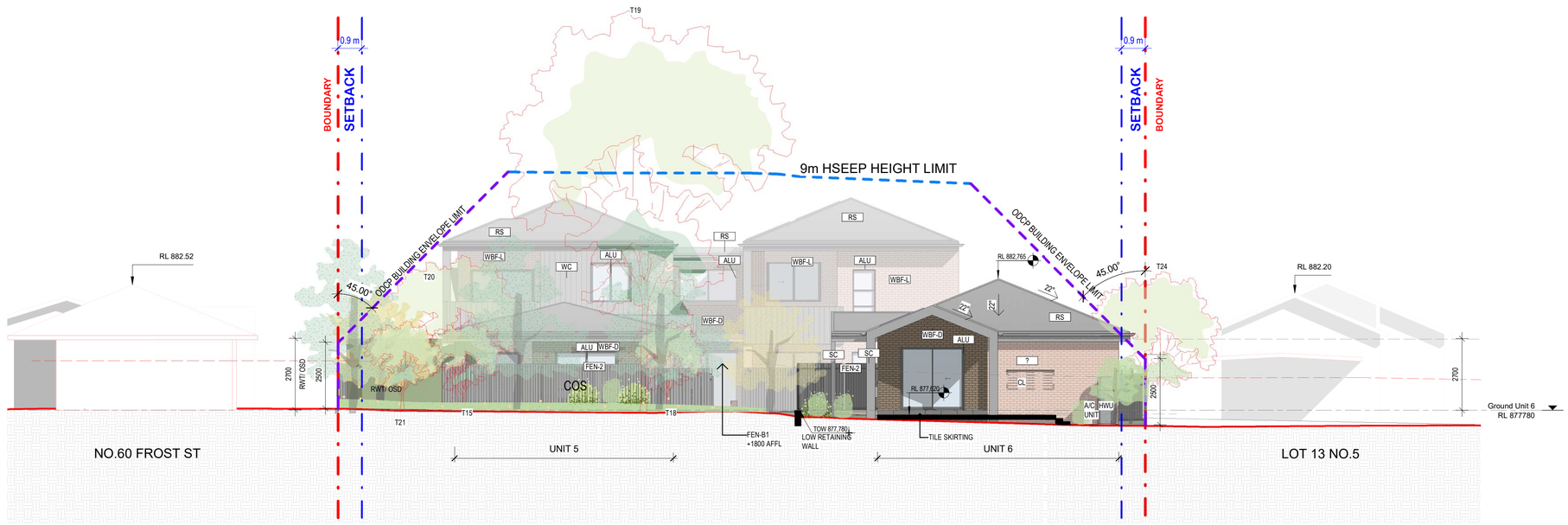
Sheet Title
ROOF PLAN

Date: 30/09/2024
Drawn: Author BGYYW
Checked Checker 06
Authorised Approver
Scale
Project No.
Revision
Drawing No. A204



1 EAST ELEVATION - WATTLE AVE

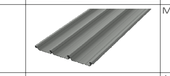
1 : 100



2 WEST ELEVATION (REAR)

1 : 100

Material Exterior Schedule

CODE	Material: Image	Material: Description	COLOUR
WBF-F		Masonry	Dark Brwon
WBF-D		Masonry	Dark Brown
ATS		Aluminium Timber Look Slat - Screen	Brown Timber Look
WBF-L		Masonry	Blush Red
WC		Kip-Lok 700 Classic Wall Cladding	Dark Grey
RS		Metal Sheet Roofing	Dark Grey
ALU		Aluminium window and door frame system, fascia / downpipes	Dark Grey
FEN-B1/B2		Metal Fencing sides front Height: 1800mm with splay, B2: 1500 High Colorbond Fence w/ 300 Lattice Screen	Colorbond -Monument
FEN-2		Aluminium battens POS fence Height: 1800mm Allows for overland flow under fence within easement zone 15mm max gap between battens for privacy. Fence height is adjustable to fully cover the HWU.	Dark Grey
SH		Metal sunhood, tapers towards the bottom	Dark Grey
BAL		Charcoal frame w/ translucent glazing with tint to match frame.	Dark Grey

Certificate No. 0009649680

Scan QR code or follow website link for rating details.

Assessor name Dean Gorman

Accreditation No. DMN/13/1645

Property Address 7-9 Wattle Avenue,Orange NSW,2800

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Rev	Date	AMENDEMENTS	Ckd
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02	12/02/2024	STAGE B	SA
03	09/05/2024	STAGE C	SA
04	27/06/2024	STAGE C UPDATE	SA
05	23/07/2024	STAGE C UPDATE	SA
06	30/09/2024	STAGE C UPDATE	SA

LEGEND

- SITE SETBACK
- SITE BOUNDARY
- BUILDING HEIGHT LIMIT
- BUILDING ENVELOPE CONTROL
- EXISTING STRUCTURE

AC	AIR CONDITIONER	LB	LETTER BOX	SP	SOLAR PANELS
ATS	ALUMINIUM TIMBER SCREEN	OSD	ON SITE DETENTION TANK	TOK	TOP OF KERB
ALU	WINDOWS /DOORS	POS	PERSONAL OPEN SPACE	TOW	TOP OF WALL
BAL	BALUSTRADE	RBC	RIDGE BARGE CAPPING	WBF	BRICK WALL
CL	CLOTHES LINE	RC	ROOF SHEETING	WBF-D	MASONRY
COL	COLUMN	RR	ROOF RIDGE	WBF-L	MASONRY
DP	DOWNPIPE	RWG	GUTTER	WC	WALL CLADDING
FEN-1	FENCE - ALUMINIUM BATTEN FENCE	RWT	RAIN WATER TANK	WFC1	FIBRE CEMENT CLADDING
FEN-2	FENCE - ALUMINUM POS FENCE 1800 HEIGH	RS	METAL ROOF SHEETING	WFC2	FIBRE CEMENT INFILL
HWU	HOT WATER UNIT	SH	SUNHOOD		

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Robert McNamara
reg. no. 7271

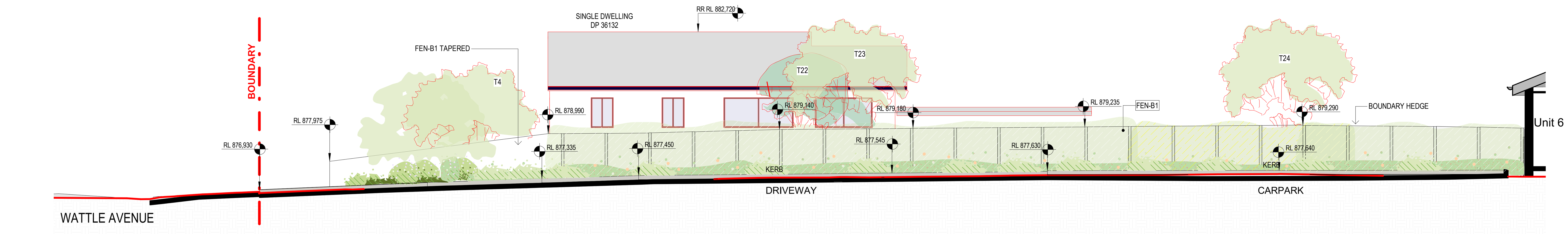
PART 5

Project Name
RESIDENTIAL HOUSING 7-9 WATTLE AVENUE ORANGE NSW 2800

Lots 14 and 15 in DP 36132

Sheet Title
ELEVATIONS - EAST-STREET/ WEST & Material Schedule

Date: 30/09/2024
Scale
Drawn: Author
Project No. BGYYW
Checked Checker
Revision 06
Authorised Approver
Drawing No. A301

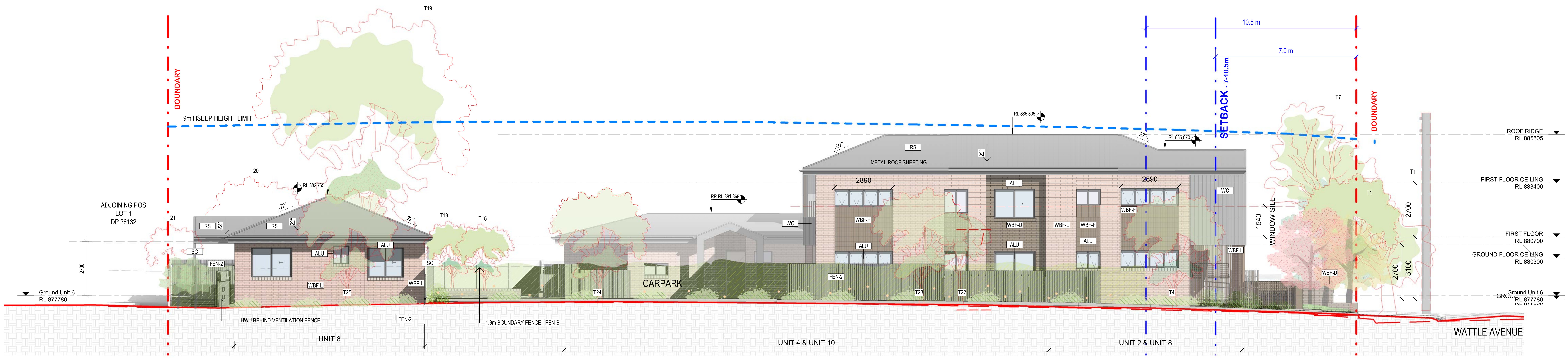


3 SECTION - DRIVEWAY

1 : 100

2 NORTH ELEVATION (SIDE)

1 : 100



1 SOUTH ELEVATION (SIDE)

1 : 100

Rev	Date	AMENDEMENTS	Ckd
01	12/12/2023	STAGE B _ DRAFT	SA
02	12/02/2024	STAGE B	SA
03	09/05/2024	STAGE C	SA
04	27/06/2024	STAGE C UPDATE	SA
05	23/07/2024	STAGE C UPDATE	SA
06	30/09/2024	STAGE C UPDATE	SA

LEGEND

- SITE SETBACK
- SITE BOUNDARY
- BUILDING HEIGHT LIMIT
- BUILDING ENVELOPE CONTROL
- EXISTING STRUCTURE

AC	AIR CONDITIONER	LB	LETTER BOX	SP	SOLAR PANELS
ATS	ALUMINIUM TIMBER SCREEN	OSD	ON SITE DETENTION TANK	TOK	TOP OF KERB
ALU	WINDOWS /DOORS	POS	PERSONAL OPEN SPACE	TOW	TOP OF WALL
BAL	BALUSTRADE	RBC	RIDGE BARGE CAPPING	WBF	BRICK WALL
CL	CLOTHES LINE	RC	ROOF SHEETING	WBF-D	MASONRY
COL	COLUMN	RR	ROOF RIDGE	WBF-L	MASONRY
DP	DOWNPIPE	RWG	GUTTER	WC	WALL CLADDING
FEN-1	FENCE - ALUMINIUM BATTEN FENCE	RWT	RAIN WATER TANK	WFC1	FIBRE CEMENT CLADDING
FEN-2	FENCE - ALUMINUM POS FENCE 1800 HEIGH	RS	METAL ROOF SHEETING	WFC2	FIBRE CEMENT INFILL
HWU	HOT WATER UNIT	SH	SUNHOOD		

Certificate No. 0009649680

Scan QR code or follow website link for rating details.

Assessor name: Dean Gorman
Accreditation No. DMN/13/1645
Property Address: 7-9 Wattle Avenue,Orange NSW,2800

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nominated architects:
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Robert McNamara
reg. no. 7271

PART 5

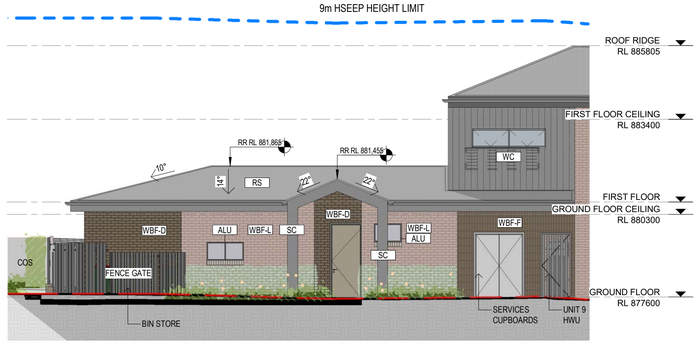
Project Name
RESIDENTIAL HOUSING 7-9 WATTLE AVENUE ORANGE NSW 2800

Lots 14 and 15 in DP 36132

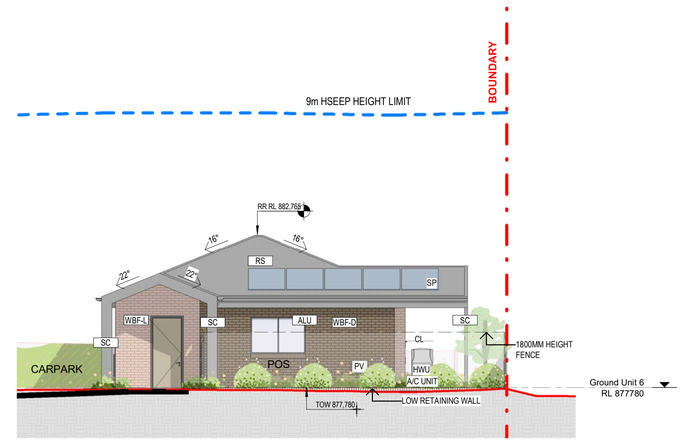
Sheet Title
ELEVATIONS - NORTH/ SOUTH

Date: **30/09/2024**	Scale
Drawn: **Author**	Project No. **BGYYW**
Checked **Checker**	Revision **06**
Authorised **Approver**	Drawing No. **A302**

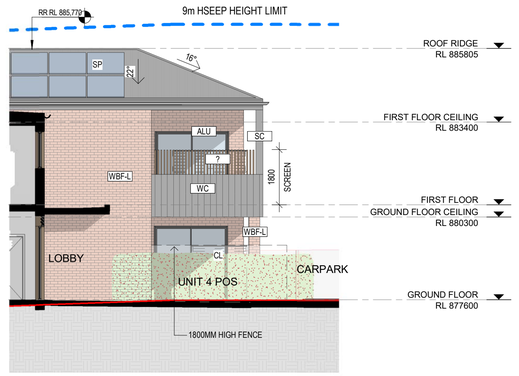
1 Elevation WEST - (Unit 4)
1 : 100



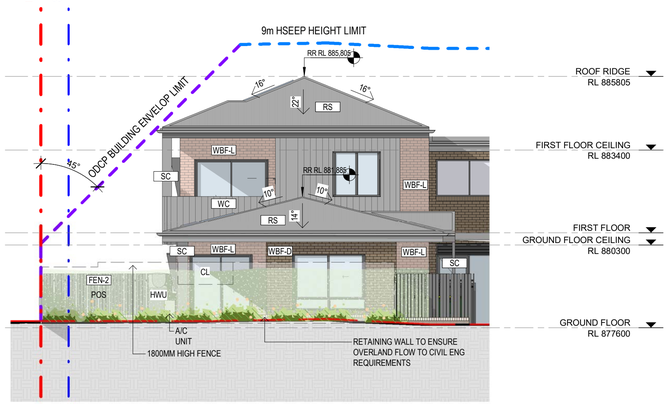
3 Elevation SOUTH - (Unit 5)
1 : 100



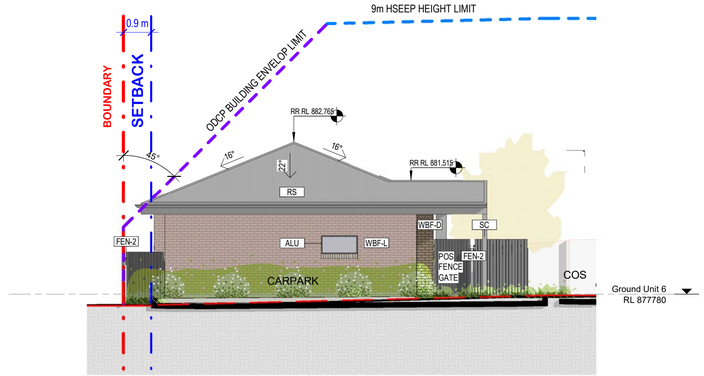
5 Elevation NORTH - (Unit 6)
1 : 100



2 Elevation NORTH - (Unit 4)
1 : 100



4 Elevation - WEST - (Unit 5)
1 : 100



6 Elevation EAST - (Unit 6)
1 : 100

Certificate No. 0009649680
Scan QR code or follow website link for rating details.
Assessor name Dean Gorman
Accreditation No. DMN/13/1645
Property Address 7-9 Wattle Avenue,Orange NSW,2800
hstar.com.au/QR/Generate?p=suInBrYeP

Rev	Date	AMENDEMENTS	Ckd
04	27/06/2024	STAGE C UPDATE	SA
05	23/07/2024	STAGE C UPDATE	SA
06	30/09/2024	STAGE C UPDATE	SA

LEGEND

NSW GOVERNMENT

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nominated architects:
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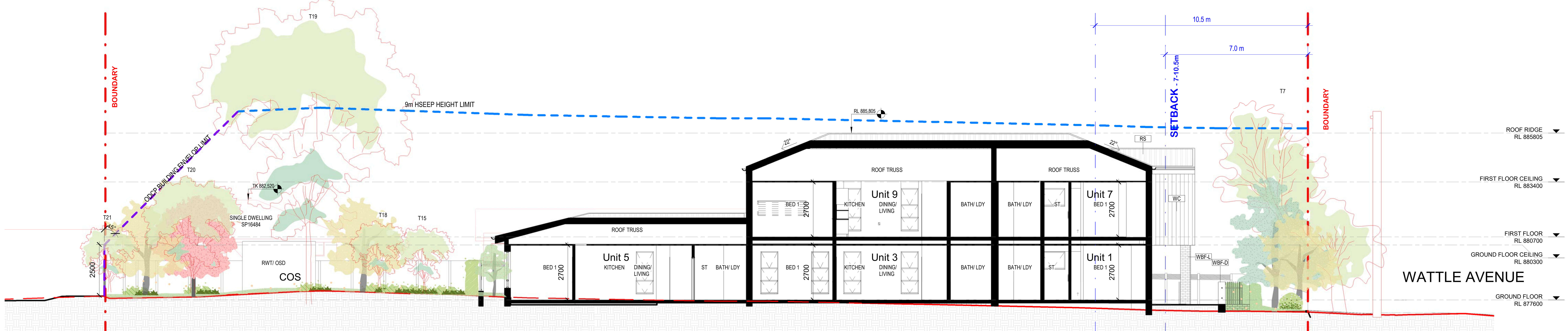
reg. no. 7645
Robert McNamara
reg. no. 7271

PART 5

Project Name
RESIDENTIAL HOUSING 7-9 WATTLE AVENUE ORANGE NSW 2800
Lots 14 and 15 in DP 36132

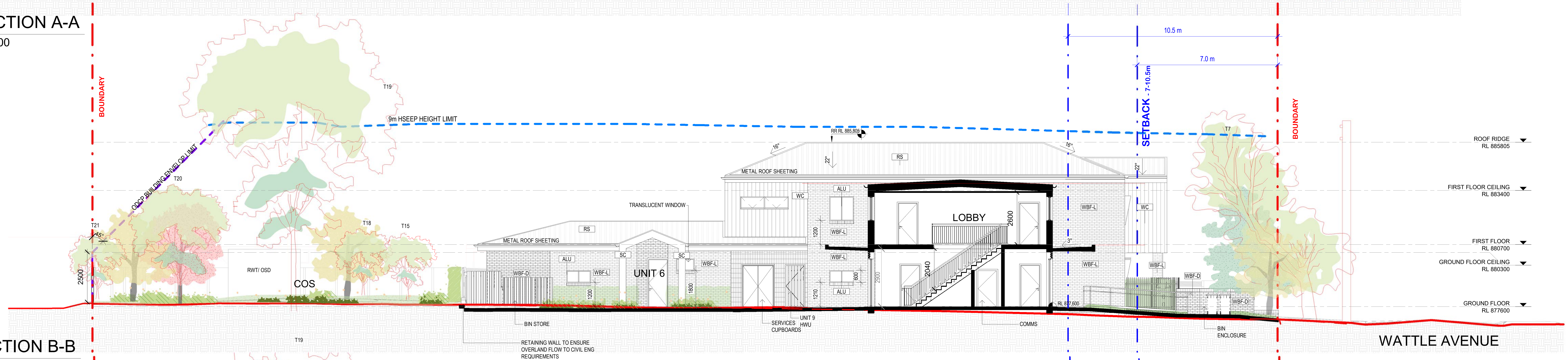
Sheet Title
ELEVATIONS - U4-U5-U6

Date: 30/09/2024
Scale
Drawn: Author
Project No. BGYYW
Checked Checker
Revision 06
Authorised Approver
Drawing No. A303



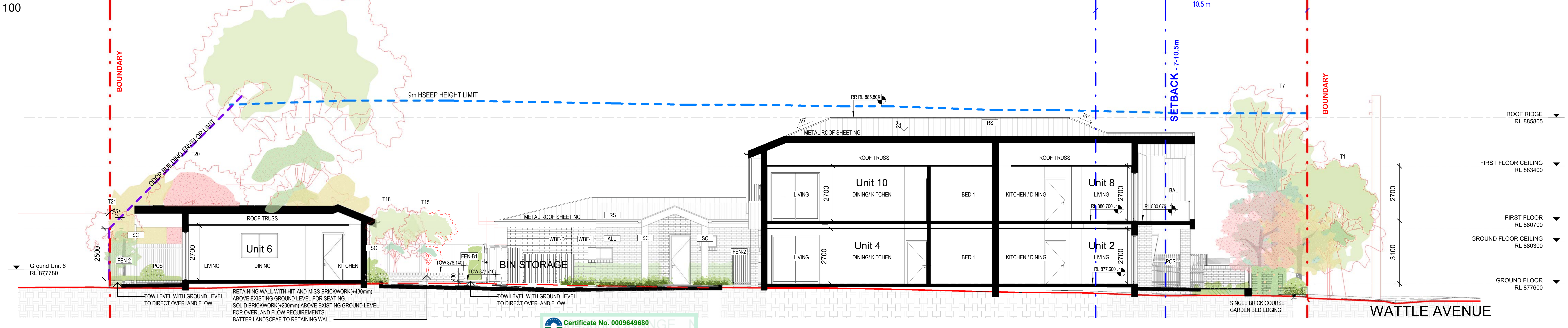
SECTION A-A

1 : 100



SECTION B-B

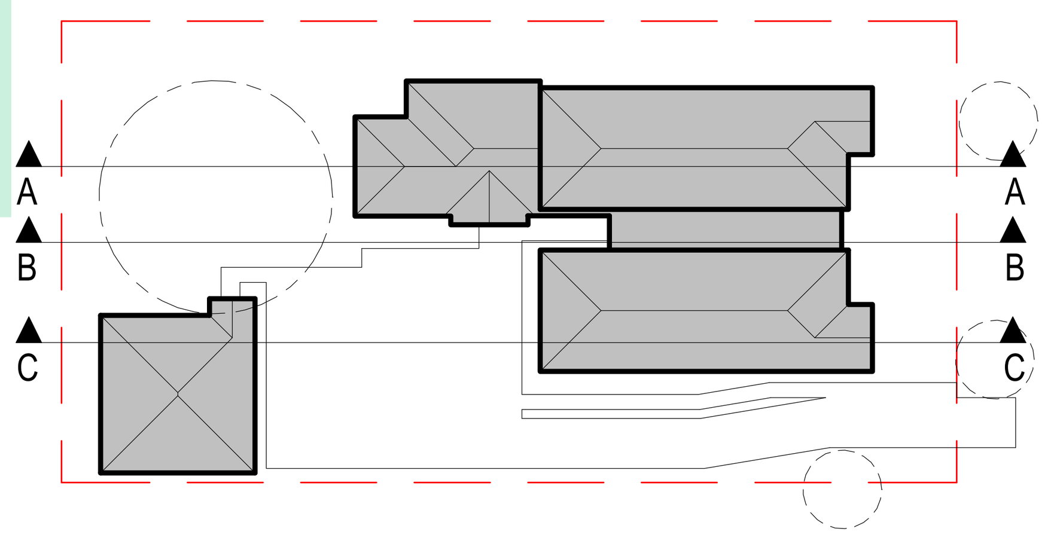
1 : 100



SECTION C-C

1 : 100

Certificate No. 0009649680
Scan QR code or follow website link for rating details.
Assessor name Dean Gorman
Accreditation No. DMN/13/1645
Property Address 7-9 Wattle Avenue,Orange NSW,2800
hstar.com.au/QR/Generate?p=sutnBrYeP



Rev	Date	AMENDEMENTS	Ckd
01	12/12/2023	STAGE B _ DRAFT	SA
02	12/02/2024	STAGE B	SA
03	09/05/2024	STAGE C	SA
04	27/06/2024	STAGE C UPDATE	SA
05	23/07/2024	STAGE C UPDATE	SA
06	30/09/2024	STAGE C UPDATE	SA

LEGEND

- SITE SETBACK
- SITE BOUNDARY
- BUILDING HEIGHT LIMIT
- BUILDING ENVELOPE CONTROL
- EXISTING STRUCTURE

AC	AIR CONDITIONER	LB	LETTER BOX	SP	SOLAR PANELS		
ATS	ALUMINIUM TIMBER SCREEN	OSD	ON SITE DETENTION TANK	TOK	TOP OF KERB		
ALU	WINDOWS /DOORS	POS	PERSONAL OPEN SPACE	TOW	TOP OF WALL		
BAL	BALUSTRADE	RBC	RIDGE BARGE CAPPING	WBF	BRICK WALL		
CL	CLOTHES LINE	RC	ROOF SHEETING	WBF-D	MASONRY		
COL	COLUMN	RR	ROOF RIDGE	WBF-L	MASONRY		
DP	DOWNPIPE	RWG	GUTTER	WC	WALL CLADDING		
FEN-1	FENCE - ALUMINIUM BATTEN FENCE	RWT	RAIN WATER TANK	WFC1	FIBRE CEMENT CLADDING		
FEN-2	FENCE - ALUMINUM POS FENCE 1800 HEIGH	RS	METAL ROOF SHEETING	WFC2	FIBRE CEMENT INFILL		
HWU	HOT WATER UNIT	SH	SUNHOOD				

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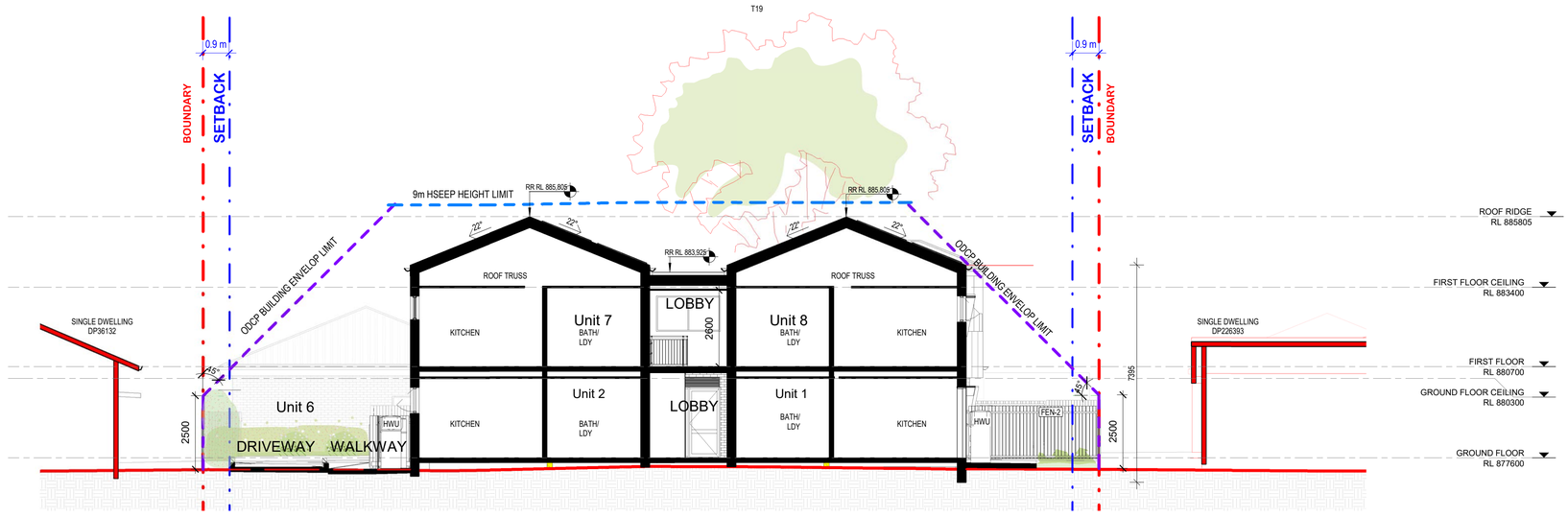
PART 5

Project Name
RESIDENTIAL HOUSING 7-9 WATTLE AVENUE ORANGE NSW 2800

Lots 14 and 15 in DP 36132

Sheet Title
LONG SECTION

Date: **30/09/2024**	Scale
Drawn: **Author**	Project No. **BGYYW**
Checked **Checker**	Revision **06**
Authorised **Approver**	Drawing No. **A304**

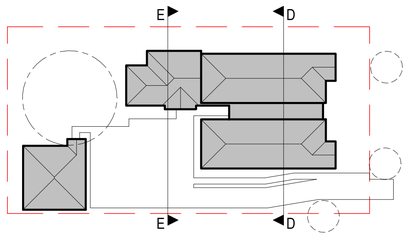


D SECTION D-D

1 : 100

E SECTION E-E

1 : 100



Certificate No. 0009649680

Scan QR code or follow website link for rating details.

Assessor name Dean Gorman

Accreditation No. DMN/13/1645

Property Address 7-9 Wattle Avenue,Orange NSW,2800

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Rev	Date	AMENDEMENTS	Ckd
01	12/12/2023	STAGE B _ DRAFT	SA
02	12/02/2024	STAGE B	SA
03	09/05/2024	STAGE C	SA
04	27/06/2024	STAGE C UPDATE	SA
05	23/07/2024	STAGE C UPDATE	SA
06	30/09/2024	STAGE C UPDATE	SA

LEGEND

- SITE SETBACK
- SITE BOUNDARY
- BUILDING HEIGHT LIMIT
- BUILDING ENVELOPE CONTROL
- EXISTING STRUCTURE

AC	AIR CONDITIONER	LB	LETTER BOX	SP	SOLAR PANELS
ATS	ALUMINIUM TIMBER SCREEN	OSD	ON SITE DETENTION TANK	TOK	TOP OF KERB
ALU	WINDOWS /DOORS	POS	PERSONAL OPEN SPACE	TOW	TOP OF WALL
BAL	BALUSTRADE	RBC	RIDGE BARGE CAPPING	WBF	BRICK WALL
CL	CLOTHES LINE	RC	ROOF SHEETING	WBF-D	MASONRY
COL	COLUMN	RR	ROOF RIDGE	WBF-L	MASONRY
DP	DOWNPIPE	RWG	GUTTER	WC	WALL CLADDING
FEN-1	FENCE - ALUMINIUM BATTEN FENCE	RWT	RAIN WATER TANK	WFC1	FIBRE CEMENT CLADDING
FEN-2	FENCE - ALUMINUM POS FENCE 1800 HEIGH	RS	METAL ROOF SHEETING	WFC2	FIBRE CEMENT INFILL
HWU	HOT WATER UNIT	SH	SUNHOOD		

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PART 5

Project Name
RESIDENTIAL HOUSING 7-9 WATTLE AVENUE ORANGE NSW 2800

Lots 14 and 15 in DP 36132

Sheet Title
SHORT SECTION

Date: **30/09/2024**
Scale
Drawn: **Author**
Project No. **BGYYW**
Checked **Checker**
Revision **06**
Authorised **Approver**
Drawing No. **A305**

1 ViewfromtheSun - June 9AM

2 ViewfromtheSun - June 9.30AM

3 ViewfromtheSun - June 10AM

4 ViewfromtheSun - June 10.30AM

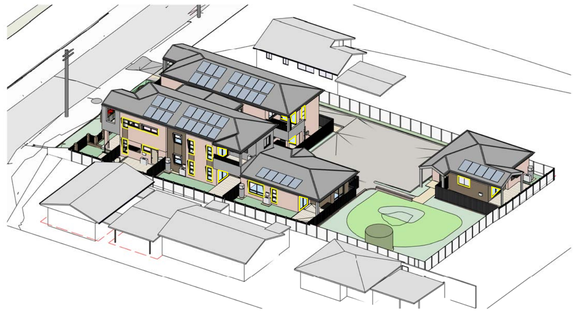
5 ViewfromtheSun - June 11AM

6 ViewfromtheSun - June 11.30AM

7 ViewfromtheSun - June 12PM

8 ViewfromtheSun - June 12.30PM

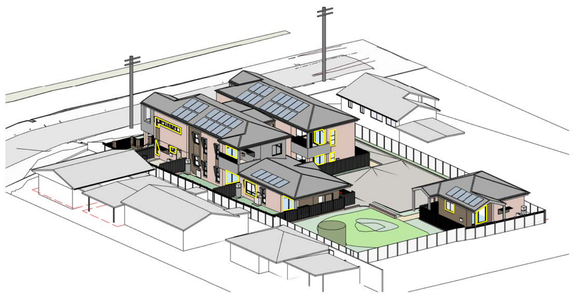
9 ViewfromtheSun - June 1PM



10 ViewfromtheSun - June 1.30PM

11 ViewfromtheSun - June 2PM

12 ViewfromtheSun - June 2.30PM



13 ViewfromtheSun - June 3PM

	9am	9:30am	10am	10:30am	11am	11:30am	12pm	12:30pm	1pm	1:30pm	2pm	2:30pm	3pm
Unit 1	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
Unit 2	✓	✓	✓	✓									
Unit 3	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
Unit 4										✓	✓	✓	✓
Unit 5	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
Unit 6	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
Unit 7	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
Unit 8	✓	✓								✓	✓	✓	✓
Unit 9	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
Unit 10			✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓

Sunlight Access to Living rooms/ POSs
in accordance with LAHC Deemed to Satisfy Compliance Part B4.2a

✓ COMPLIANT

NON - COMPLIANT

70% ACHIEVED = COMPLIANCE ACHIEVED

14 SOLAR STUDY TABLE

1 : 1

Rev	Date	AMENDEMENTS	Ckd
01	12/12/2023	STAGE B _ DRAFT	SA
02	12/02/2024	STAGE B	SA
03	09/05/2024	STAGE C	SA
04	27/06/2024	STAGE C UPDATE	SA
05	23/07/2024	STAGE C UPDATE	SA
06	30/09/2024	STAGE C UPDATE	SA

LEGEND

Certificate No. 0009649680
HOUSE Scan QR code or follow website link for rating details.
Assessor name Dean Gorman
Accreditation No. DMN/13/1645
Property Address 7-9 Wattle Avenue,Orange NSW,2800
hstar.com.au/QR/Generate?r=au/nBrYeP

NSW GOVERNMENT

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e architects@sarm.com.au
ABN 26 000 663 623
nominated architects:
Stephen Arlom
reg. no. 7645
Robert McNamara
reg. no. 7271

PART 5

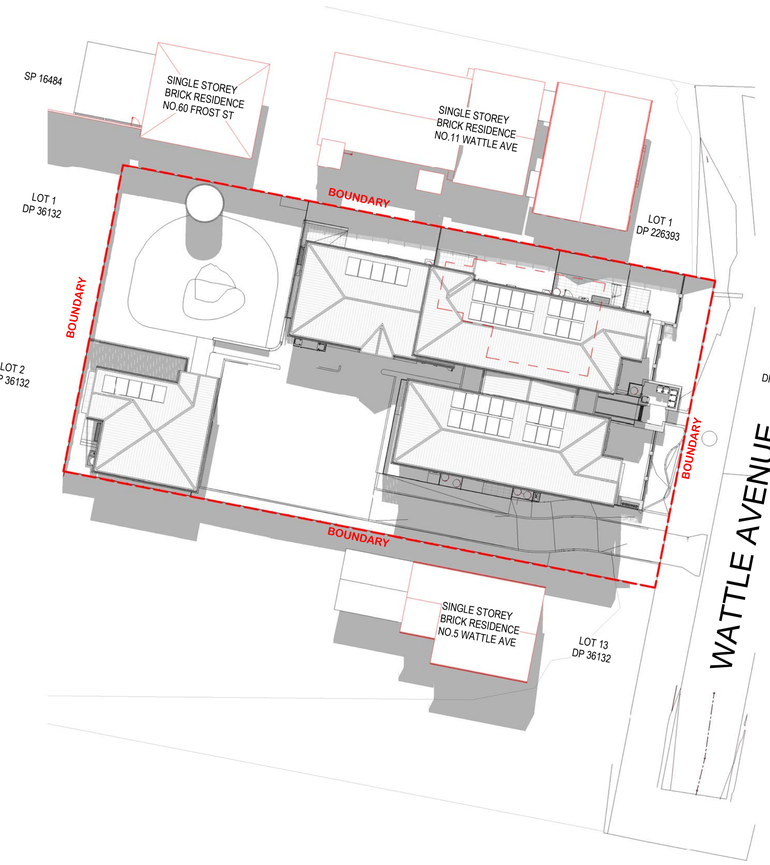
Project Name
RESIDENTIAL HOUSING 7-9 WATTLE AVENUE ORANGE NSW 2800
Lots 14 and 15 in DP 36132

Sheet Title
VIEW FROM THE SUN STUDY

Date: **30/09/2024**
Scale
Drawn: **Author**
Project No. **BGYYW**
Checked **Checker**
Revision **06**
Authorised **Approver**
Drawing No. **A401**

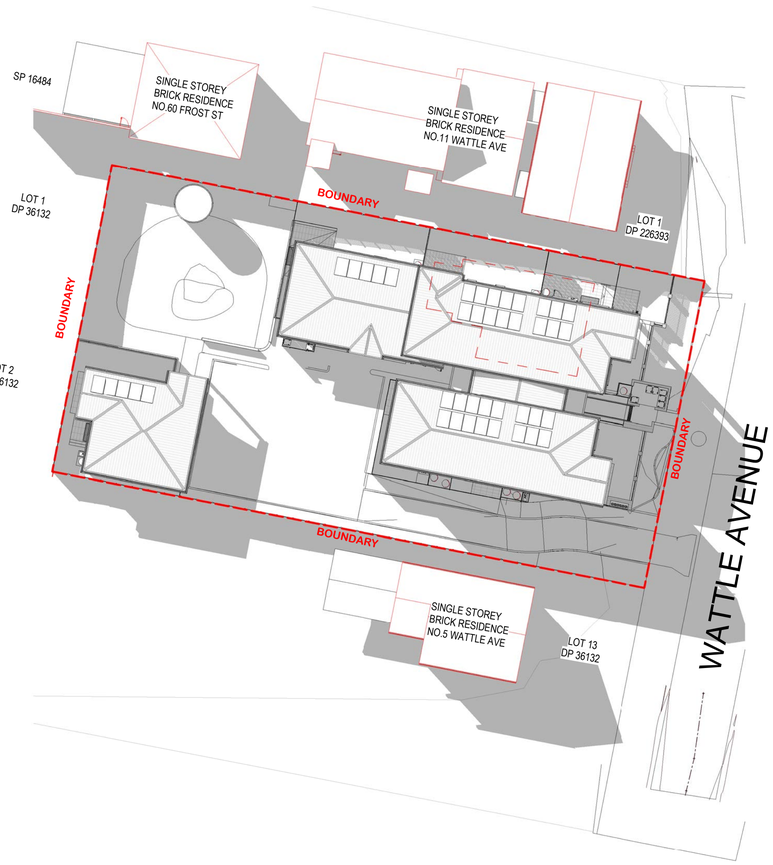
1 SHADOW DIAGRAM JUNE 9AM

1 : 300



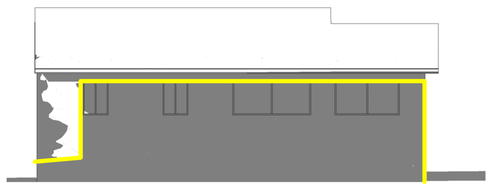
2 SHADOW DIAGRAM JUNE 12NOON

1 : 300

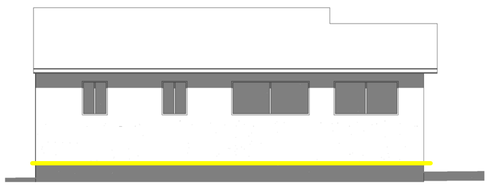


3 SHADOW DIAGRAM JUNE 3PM

1 : 300

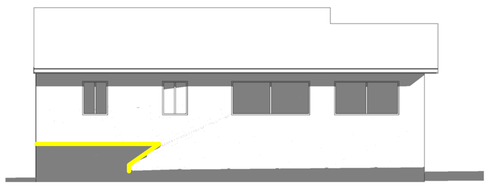


4 5 WATTLE AVENUE ELEVATION - WINTER 9am



5 5 WATTLE AVENUE ELEVATION - WINTER 12pm

NOTE: NO ADDITONAL SHADOWS CAST



6 5 WATTLE AVENUE ELEVATION - WINTER 3pm

NOTE: NO ADDITONAL SHADOWS CAST

Rev	Date	AMENDEMENTS	Ckd
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04	27/06/2024	STAGE C UPDATE	SA
05	23/07/2024	STAGE C UPDATE	SA
06	30/09/2024	STAGE C UPDATE	SA

LEGEND

EXISTING BUILDING SHADOWS

EXISTING BUILDING TO BE DEMOLISHED

PROPOSED SHADOWS TO EXISTING BUILDINGS

N

Certificate No. 0009649680

HOUSE Scan QR code or follow website link for rating details.

Assessor name Dean Gorman

Accreditation No. DMN/13/1645

Property Address 7-9 Wattle Avenue,Orange NSW,2800

hstar.com.au/QR/Generate?p=austnBrYeP

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e architects@sarm.com.au
ABN 26 000 663 623

nominated architects:
Stephen Arlom
reg. no. 7645
Robert McNamara
reg. no. 7271

PART 5

Project Name
RESIDENTIAL HOUSING 7-9 WATTLE AVENUE ORANGE NSW 2800

Lots 14 and 15 in DP 36132

Sheet Title
SHADOW DIAGRAMS

Date:	Scale
30/09/2024	
Drawn:	Project No.
Author	**BGYYW**
Checked	Revision
Checker	**06**
Authorised	Drawing No.
Approver	**A402**

2 Sketch Perspective - Rear

1 Sketch Perspective - Front

Rev	Date	AMENDEMENTS	Ckd
01	12/12/2023	STAGE B _ DRAFT	SA
02	12/02/2024	STAGE B	SA
03	09/05/2024	STAGE C	SA
04	27/06/2024	STAGE C UPDATE	SA
05	23/07/2024	STAGE C UPDATE	SA
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LEGEND

Certificate No. 0009649680
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Robert McNamara
reg. no. 7271

PART 5

Project Name
RESIDENTIAL HOUSING 7-9 WATTLE AVENUE ORANGE NSW 2800
Lots 14 and 15 in DP 36132

Sheet Title
AERIAL RESPECTIVE

Date: **30/09/2024**
Scale
Drawn: **Author** **BGYYW**
Project No.
Checked **Checker** **06**
Revision
Authorised **Approver**
Drawing No. **A403**